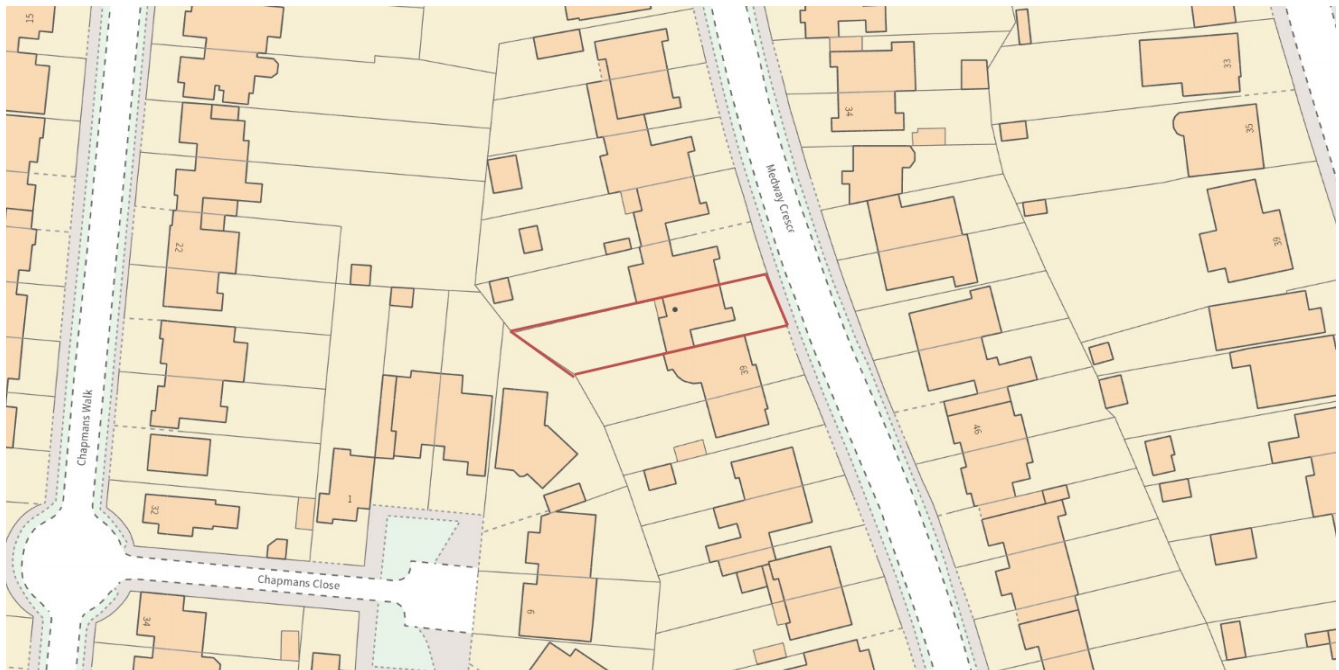


<b>Reference:</b>	24/00046/FULH	
<b>Application Type:</b>	Full Application - Householder	
<b>Ward:</b>	West Leigh	
<b>Proposal:</b>	Erect single storey front/side extension and rear extension with new raised terrace to rear	
<b>Address:</b>	37 Medway Crescent, Leigh-on-Sea, Essex	
<b>Applicant:</b>	Mr and Mrs Christou	
<b>Agent:</b>	Knight Gratrix Architects	
<b>Consultation Expiry:</b>	9th February 2024	
<b>Expiry Date:</b>	6th March 2024	
<b>Case Officer:</b>	Gabriella Fairley	
<b>Plan Nos:</b>	<b>012 (Rev A), 014 (Rev C)</b>	
<b>Recommendation:</b>	<b>GRANT PLANNING PERMISSION subject to conditions</b>	



## **1 Site and Surroundings**

- 1.1 The site contains a two-storey, semi-detached dwelling on the west side of Medway Crescent. It has a hipped roof and an original two-storey flat roof side projection, with a decorative parapet to its front. This feature is seen at the adjoining neighbour No 35, as well as Nos. 31 and 33 Medway Crescent. Ground levels slope from west to east.
- 1.2 The area is residential in nature comprising detached and semi-detached two-storey dwellings, with a variety of designs.
- 1.3 The site is not within a conservation area or subject to any site-specific planning policy designations.

## **2 The Proposal**

- 2.1 The application seeks planning permission to erect a single storey rear extension with a new raised terrace to the rear and a single storey front/side extension.
- 2.2 The proposed front/side extension would be 4.97m deep, 2.67m wide and 3.7m high to the parapet and 3.3m high to the flat roof, finished in materials to match the existing dwelling. A set of garage doors would match the existing. The extension would contain a store and utility room.
- 2.3 The proposed single storey rear extension would have a part flat and part pitched roof, part of which would form a canopy. The extension would be some 5m wide, maximum 3.1m deep and 4.5m high to the ridge, 2.8m high to the eaves. The canopy section would be some 2.2m wide and 2.4m high. The proposal would be finished in materials to match the existing dwelling. There would be two sets of doors on the rear elevation, with glazing above one of the doors. One of the doors wraps around to the south side elevation of the proposal. The proposal would have two roof lights.
- 2.4 It is also proposed to erect a raised patio and terraced area to the rear of the proposed extension some 9m wide, maximum 4.5m deep and minimum 2m deep, maximum 0.5m high, minimum 0.15m high. There would be an obscure glazed screen some 1.8m high adjacent to the boundary with No. 35 Medway Crescent.

## **3 Relevant Planning History**

- 3.1 None.

## **4 Representation Summary**

### **Public Consultation**

- 4.1 Seven (7) neighbouring properties were notified of the application by letter. No letters of representation have been received.

## **5 Procedural matters**

- 5.1 This application is presented to the Development Control Committee because the applicant is a member of staff at Southend City Council.

## **6 Planning Policy Summary**

- 6.1 The National Planning Policy Framework (NPPF) (2023)
- 6.2 Planning Practice Guidance (PPG) (2023)
- 6.3 National Design Guide (NDG) (2021)
- 6.4 Core Strategy (2007): Policies KP1 (Spatial Strategy), KP2 (Development Principles), CP3 (Transport and Accessibility), CP4 (Environment and Urban Renaissance)
- 6.5 Development Management Document (2015): Policies DM1 (Design Quality), DM3 (Efficient and Effective Use of Land), DM15 (Sustainable Transport Management)
- 6.6 Southend-on-Sea Design and Townscape Guide (2009)
- 6.7 Community Infrastructure Levy (CIL) Charging Schedule (2015)

## **7 Planning Considerations**

- 7.1 The main considerations in relation to this application are the principle of the development, the design and impact on the character and appearance of the area, residential amenity, traffic and parking implications and CIL liability.

## **8 Appraisal**

### **Principle of Development**

- 8.1 The principle of extending and altering an existing dwelling is considered acceptable and policy compliant, subject to the proposal appropriately addressing the relevant detailed planning considerations.

### **Design and Impact on the Character of the Area**

- 8.2 Local and national planning policies and guidance seek to ensure that new development is well designed. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- 8.3 Local development plan policies seek to ensure that new development is designed so that it adds to the overall quality of the area and respects the character of the site, its local context and surroundings, provides appropriate detailing that contributes to and enhances the distinctiveness of place; and contribute positively to the space between buildings and their relationship to the public realm. Policy DM1 and the Council's Design and Townscape Guide provide further details on how this can be achieved.
- 8.4 This is a semi-detached dwelling. With the exception of its roof, the attached property, No.35 Medway Crescent, mirrors the application dwelling. The character of Medway Crescent is varied with no strong uniformity within the streetscene. The proposed single storey front/side extension would be set back some 0.3m from the front elevation of the main dwelling. The extension's parapet would reflect the parapet detailing on the existing two- storey side projection. The proposal would be finished in materials to match

the existing dwelling and would contain a garage door at ground floor level. No. 31 has an existing single storey front projection joined to the original two-storey side projection and there are numerous examples of single storey side projections along Medway Crescent. It is considered that the proposed side/front extension would not harm the character and appearance of the host dwelling, the streetscene or area more widely.

- 8.5 The proposed single storey rear extension and raised terrace would be in the rear of the site and the extension would project a maximum 3.1m beyond the rear of the host dwelling. The proposal would be subservient to the main dwelling and would not harm the character and appearance of the host dwelling or wider surroundings.
- 8.6 It is considered that the design, including the proposed siting, form, scale, appearance and materials of the development proposed are such that it would not harm the character and appearance of the existing dwelling, the streetscene and the area more widely. Therefore, the proposal is acceptable and policy compliant in these regards.

### **Amenity Impacts**

- 8.7 Local and national planning policies and guidance seek to secure high quality development which protects amenity. Policy DM1 of the Development Management Document specifically identifies that development should protect the amenity of the site, immediate neighbours, and surrounding area, having regard to privacy, overlooking, outlook, noise and disturbance, visual enclosure, pollution, and daylight and sunlight. Further advice on how to achieve this is set out in the Council's Design and Townscape Guide.
- 8.8 The proposed single storey front/side extension would be sited along the shared boundary with No. 35 Medway Crescent. No windows are proposed to the side elevation. The proposed front extension would be some 3m shallower than the closest front elevation at No. 35. In relation to No. 39 to the north, the proposal would be screened by the existing dwelling. Taking these factors into consideration, the proposed front extension would not significantly harm these properties' amenity in any relevant regards.
- 8.9 The proposed single storey rear extension would be sited along the shared boundary with No. 35 and would project some 0.6m beyond the extended rear elevation of No. 35. No. 35 has a conservatory to the rear with windows along part of the side elevation. The outlook from these windows would be impacted by the proposal but they are a secondary source of light and outlook for the conservatory, so they are afforded very limited protection within this assessment. The proposal would not significantly harm the principal sources of light or outlook for No 35. The proposal would lie adjacent to the shared boundary with No. 39 and would be some 1m shallower than the closest rear elevation at No. 39. The part of the roof that forms a part open canopy is next to No. 39. This part of the development is some 2.4m high. Taking these factors into consideration, this element of the proposal would not significantly harm these neighbours' amenity in any relevant regard.
- 8.10 The proposed raised terrace and patio area would be sited along the shared boundaries with Nos. 39 and 35. A 1.8m high obscure glazed screen is proposed along the boundary with No. 35, projecting some 2.6m beyond the rear elevation at No.35. A condition is recommended to ensure the proposed privacy screen is implemented. The proposed raised patio would project some 1.8m beyond the rear elevation of No. 39 and

would be some 0.15m high. Taking these factors into consideration, and subject to a condition, this element of the proposal would not significantly harm these properties' amenity in any relevant regard.

- 8.11 All other neighbouring properties are sufficiently removed such that they would not be significantly harmed by the proposal.
- 8.12 It is considered that the design, size, siting and scale of the development proposed are such that it would not result in any significant harm to the amenities of the site, neighbouring occupiers or wider area in any regard. The proposal is therefore acceptable and policy compliant in these regards.

### **Traffic and Transportation Issues**

- 8.13 Paragraph 115 of the NPPF states that: "Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety or, the residual cumulative impacts on the road network would be severe."
- 8.14 Policy CP3 of the Core Strategy and Policy DM15 of the Development Management Document aim to improve road safety, quality of life and equality of access for all. Policy DM15 of the Development Management Document states that development will be allowed where there is, or it can be demonstrated that there will be physical and environmental capacity to accommodate the type and amount of traffic generated in a safe and sustainable manner.
- 8.15 Taking into consideration the nature of the proposal, which would not impact the existing provision of off-street parking at the site, the proposal would not significantly harm parking availability, highway safety or the road network in the area. The proposal is therefore to be acceptable and policy compliant in these regards.

### **Community Infrastructure Levy (CIL)**

- 8.16 The development equates to less than 100sqm of new floorspace and therefore benefits from a Minor Development Exemption under the Community Infrastructure Levy Regulations 2010 (as amended) and as such no charge is payable.

### **Equality and Diversity Issues**

- 8.17 The Equality Act 2010 (as amended) imposes important duties on public authorities in the exercise of their functions and specifically introduced a Public Sector Equality Duty. Under this duty, public organisations are required to have due regard for the need to eliminate unlawful discrimination, harassment and victimisation, and must advance equality of opportunity and foster good relations between those who share a protected characteristic and those who do not. Officers have in considering this application and preparing this report had careful regard to the requirements of the Equalities Act 2010 (as amended). They have concluded that the decision recommended will not conflict with the Council's statutory duties under this legislation.

### **Conclusion**

- 8.18 The proposal is found to be acceptable and policy compliant in terms of design and impact on character and appearance of the area, impact on neighbours' amenity and

impact on highways. As there are no other material planning considerations which would justify reaching a different conclusion it is recommended that planning permission is granted subject to conditions.

## **9 Recommendation**

**GRANT PLANNING PERMISSION subject to the following conditions:**

- 01 The development hereby permitted shall begin no later than three years from the date of this decision.**

**Reason: Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990.**

- 02 The development shall only be undertaken in accordance with the following approved plans: 012 (Rev A), 014 (Rev C).**

**Reason: To ensure the development is carried out in accordance with the consent sought, has an acceptable design and complies with Policy DM1 of the Development Management Document (2015).**

- 03 Before the development hereby approved is occupied all new work to the outside of the extensions must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings hereby approved or are required by conditions to this permission.**

**Reason: To ensure the development is carried out in accordance with the consent sought, has an acceptable design and complies with Policy DM1 of the Development Management Document (2015)**

- 04 Prior to the first use of the raised terrace area hereby approved, the proposed 1.8m high obscure glazed privacy screen shall be installed in accordance with details shown on the approved plans or in accordance with alternative details that shall previously have been submitted to and agreed in writing by the Local Planning Authority under the terms of this planning condition . The privacy screen shall be shall only be glazed in obscure glass (the glass to be obscure to at least Level 4 on the Pilkington Levels of Privacy) and shall be implemented in accordance with the approved details before first use of the terrace and maintained as such for the lifetime of the development.**

**Reason: To protect residential amenity in accordance with Core Strategy (2007) Policies KP2 and CP4, Development Management Document (2015) Policies DM1, DM3 and the advice contained in the Southend-on-Sea Design and Townscape Guide (2009).**

**Positive and Proactive Statement:**

**The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with**

**the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. The detailed analysis is set out in a report on the application prepared by officers.**

**Informatives:**

- 1 You are advised that as the development equates to less than 100sqm of new floorspace the development benefits from a Minor Development Exemption under the Community Infrastructure Levy Regulations 2010 (as amended) and as such no charge is payable. See [www.southend.gov.uk/cil](http://www.southend.gov.uk/cil) for further details about the Levy.**
  
- 2 You should be aware that in cases where damage occurs during construction works to the highway in implementing this permission that Council will seek to recover the cost of repairing public highways and footpaths from any party responsible for damaging them. This includes damage carried out when implementing a planning permission or other works to buildings or land. Please take care when carrying out works on or near the public highways and footpaths in the city.**