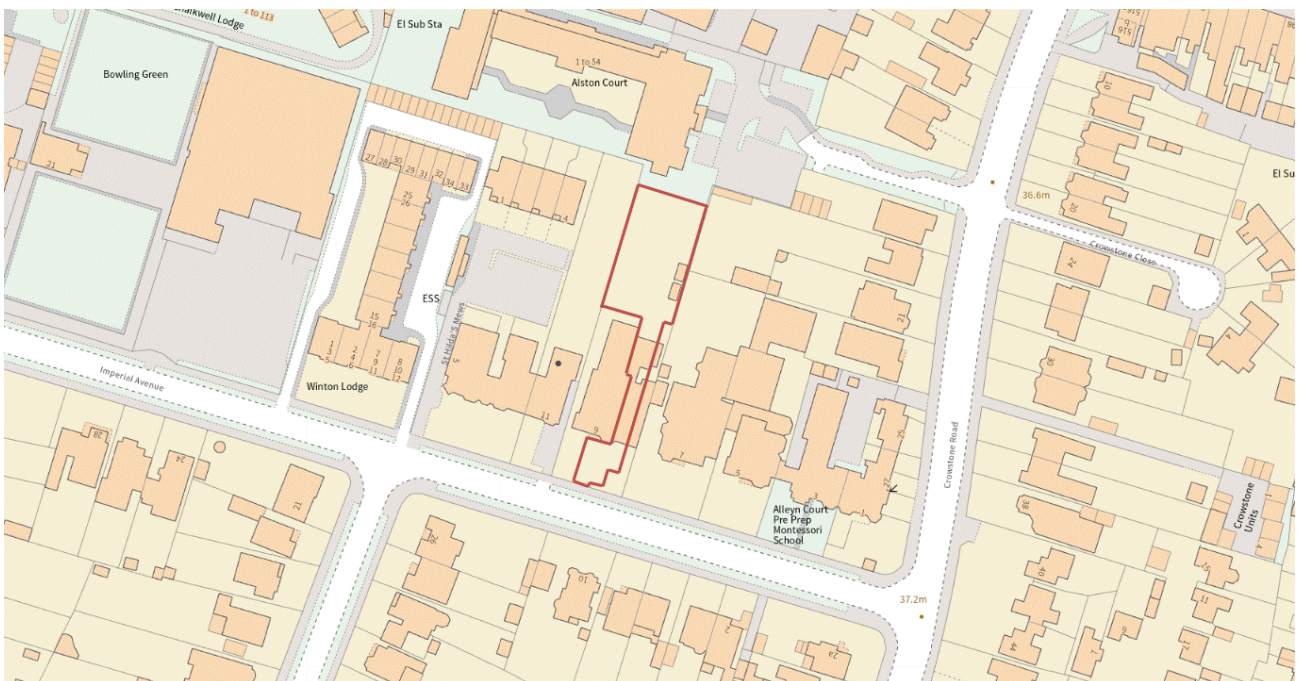


Reference:	24/00499/AD	
Application Type:	Approval of Details	
Ward:	Chalkwell	
Proposal:	Application for approval of details pursuant to condition 10 (Construction Method Statement) of planning permission 23/00451/FUL dated 31/08/2023.	
Address:	Elkington House, 9 Imperial Avenue, Westcliff-on-Sea, Essex SS0 8NE	
Applicant:	Mr D MacDonald	
Agent:	Mr Gary Coxall of Third Dimension Arch. Design Ltd	
Consultation Expiry:	18.04.2024	
Expiry Date:	31.05.2024	
Case Officer:	Scott Davison	
Plan Nos:	Construction Environment Management Plan (CEMP) January 2024 Rev A by R J Ellis Ltd Plan 250 REV A Site Compounds Plan 251 Site Access Routes 14749 Demolition Method Statement by Edward Parsley Associates - Updated April 24.	
Recommendation:	APPROVE DETAILS for Condition 10	



1 Site and Surroundings

- 1.1 The application site is on the northern side of Imperial Avenue. Pedestrian and vehicular access is from a driveway off Imperial Avenue. The site contains a vacant two-storey former care home building. To its front is an associated parking area and to its rear is a garden with mature trees and vegetation along the boundaries. There is a single preserved (TPO) “Robinia” tree on the western boundary of the site’s frontage with No.11. There are some mature street trees and characterful planted verges in Imperial Avenue. The surrounding area is residential in character, comprising detached and semi-detached dwellings and flatted blocks along Imperial Avenue and Crowstone Road. The site is within Flood Zone 1 and is not subject to any site-specific planning policies.

2 The Proposal

- 2.1 Planning permission was granted on 31 August 2023 under the terms of application reference “23/00451/FUL” described as “Partial demolition of existing building to provide access for the construction of 3 dwellings on land to the rear of 9 Imperial Avenue, layout parking and landscaping.” This application seeks to discharge condition 10 (construction method statement) of that permission.

- 2.2 The condition reads:

10. No development shall take place, including any works of demolition, until and unless a Construction Method Statement has been submitted to, and approved in writing by, the Local Planning Authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:

- i. the parking of vehicles of site operatives and visitors*
- ii. loading and unloading of plant and materials*
- iii. storage of plant and materials used in constructing the development*
- iv. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate*
- v. wheel washing facilities*
- vi. measures to control the emission of dust and dirt during construction*
- vii. a scheme for recycling/disposing of waste resulting from demolition and construction works*
- viii Details of measures to reduce the impacts of noise.*

Reason: This pre-commencement condition is required to minimise the environmental impact and disturbance to existing residents during construction of the development in accordance with National Planning Policy Framework (2021), Core Strategy (2007) Policies KP2 and CP4; and Development Management Document (2015) Policies DM1 & DM3.

3 Relevant Planning History

- 3.1 The most relevant planning history for the determination of this application is shown on Table 1 below:

Table 1: Relevant Planning History of the Application Site

Reference	Description	Outcome
23/01298/FUL	Demolish existing building and erect three storey building containing nine self-contained flats with	Refused

	associated amenity space and parking (amended proposal).	
23/00451/FUL	Partial demolition of existing building to provide access for the construction of 3 dwellings on land to the rear of 9 Imperial Avenue, layout parking and landscaping.	Granted
22/02472/FUL	Demolish existing building and erect three storey building containing nine self-contained flats with associated amenity space, parking, bin and cycle store.	Refused
11/01200/TPO	Prune 2 Robina trees to front (works to trees covered by a preservation order).	Consent granted
06/00339/FUL	Close existing vehicular access and form new vehicular access onto Imperial Avenue.	Granted
05/01472/FUL	Erect single storey extensions to side and rear.	Granted

4 Representation Summary

Public Consultation

4.1 Not Applicable.

Highways

4.2 No objection.

Environmental health

4.3 No objection.

5 Procedural matters

5.1 This application is presented to the Development Control Committee because it has been called in by Cllr Folkard.

6 Planning Policy Summary

6.1 The National Planning Policy Framework (NPPF) (2023)

6.2 Planning Practice Guidance (PPG) (2024)

6.3 National Design Guide (NDG) (2021)

6.4 Core Strategy (2007): Policies KP1 (Spatial Strategy), KP2 (Development Principles) KP3 (Implementation and Resources), CP3 (Transport and Accessibility), CP4 (Environment and Urban Renaissance), CP6 (Community Infrastructure) and CP8 (Dwelling Provision).

6.5 Development Management Document (2015): Policies DM1 (Design Quality), DM2 (Low Carbon Development and Efficient Use of Resources), DM3 (Efficient and Effective Use of Land), DM7 (Dwelling Mix, Size and Type), DM8 (Residential Standards), DM9 (Specialist Residential Accommodation) and DM15 (Sustainable Transport Management).

6.6 Southend-on-Sea Design and Townscape Guide (2009)

7 Planning Considerations

7.1 The issues for consideration are whether the submitted details meet the requirements of the planning condition and if so, whether they are then acceptable.

8 Appraisal

Condition 10

8.1 The submitted Construction Environment Management Plan (CEMP) dated January 2024 includes information relating to the site management, a plan of the site with the location of the site compounds and measures to address the different elements of the condition. The Demolition Method Statement includes details of welfare accommodation, working hours, services, safety, asbestos removal, methods and the phases of demolition, measures to control the emission of dust & dirt during construction and measures to control noise during demolition & construction. The separate limbs of the condition and the submitted details to address them are set out below:

i. The parking of vehicles of site operatives and visitors

8.2 The CEMP confirms that parking will be provided for all site staff and visitors within the site compounds. This would be to the front of the site during demolition as identified on Plan 250 Rev A, outside of the Root Protection Area of the TPO tree and then in a compound area to the rear/centre of the site when the construction phase begins.

ii. loading and unloading of plant and materials

8.3 Plan 251 shows the access routes to the site. From the west, vehicles would turn south from London Road into Chalkwell Avenue and then east into Imperial Avenue. From the east, vehicles travelling along London Road would turn south into Crowstone Road then turn west into Imperial Avenue. Deliveries and loading and unloading into the site will be via the existing vehicular access in Imperial Avenue during both the demolition and construction phases.

8.4 Deliveries will only be received within the working hours of the site, i.e. between, 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs on Saturdays, and predominantly between the hours of 10:00hrs to 11:00hrs and 14:00hrs to 15:00hrs to not coincide and clash with the nearby nursery and their associated peak traffic hours.

8.5 The submitted information confirms that the delivery supply chain will be provided with a brief that will clearly state the methodology of the delivery of plant, machinery, and materials to the site, with any time constraints stated, the route in which they will take, and the protocols in place for receiving such deliveries.

iii. storage of plant and materials used in constructing the development

8.6 The CEMP confirms materials will be stored within the site and will be stored on or close to the proposed compound, which is located outside of the Root Protection Area of a TPO tree at the front of the site. No materials will be stored outside the site and materials will be procured and delivered within a few days of those materials being installed where possible as part of the construction works programme.

- 8.7 The materials will be securely stored in the site compound. Some elements of plant will be parked within the confines of the site, but only for the duration of the works that they are associated with. The Demolition Statement confirms that the plant would include a mechanical excavator fitted with a choice either Impact Hammer, Hydraulic Shears, Pulveriser, Grapple or Multi-Purpose attachments and two mobile elevating work platforms ("scissor lift").
- 8.8 The access road would be kept free from the storage of any plant or materials.

iv. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate

- 8.9 The CEMP and Demolition Method Statement confirm that site hoardings / Heras fencing will be erected around the perimeter of the site prior to the commencement of the works. Warning signs will be displayed at the appropriate points around the perimeter of the site. Heras fencing will be fitted with anti-debris / dust netting. At the entrance to the site, gates would be erected which would be kept shut and secured out of working hours. There will be no facility for public viewing through the site hoarding / Heras fencing.

v. wheel washing facilities

- 8.10 The CEMP confirms that wheel washing facilities will be provided within the site and close to the entrance/exit. It states that labour and hosepipes would be available at all times to enable any wheel washing requirements with stiff brushes and water. Additionally, the road and pavements will be maintained with regular washing and cleaning from the site operatives. Road sweepers will also be utilised where and when required.

vi. measures to control the emission of dust and dirt during construction

- 8.11 The Demolition Method Statement sets out a number of measures to control the emission of dust and dirt during construction. These include the following:
- Haul routes to be located away from sensitive areas, where possible.
 - Provide a length of paved road before the exit from the site.
 - Where hard surfaced roads are constructed, the roads will be regularly swept to prevent a build-up of dust and debris.
 - Sweep public roads regularly when potential traffic movements containing soil, spoil, hardcore, concrete etc. are being taken in or out of the site.
 - Ensure that all dust generating materials transported to and from site are covered by tarpaulins.
 - Traffic speed on site to be lowered to prevent the generation of dust.
 - Construction methods will be reviewed to limit the generation of dust i.e., wet cutting in lieu of dry cutting where practicable.
 - Control of dust to be implemented on site by the use of a water bowser unit to dampen site access and haul roads.
 - Plant and equipment to be selected to minimise the generation of dust.
 - Dust migration to adjoining properties to be restricted by the use of debris netting fixed to all the perimeter fences.
 - Store materials as far away as possible from sensitive boundaries, whenever possible.

8.12 During very dry conditions, consideration would be given to suspension of soil handling operations if wind speeds give rise to dust generation that could cause a nuisance to dust sensitive locations in the vicinity of the site, particularly during dry and windy conditions. The monitoring of operations with the potential to cause airborne dust emissions will be regularly undertaken by the Site / Project Manager or appointed representative.

vii. a scheme for recycling/disposing of waste resulting from demolition and construction works

8.13 The Demolition Method Statement sets out a number of measures including the following:

- Any electrical cabling will be removed for recycling prior to soft stripping and the demolition of the structure. All waste generated by the cable-stripping is to be disposed of appropriately, i.e.; all sheathing is to be placed in a general waste skip and will not be removed by burning.
- An internal soft strip of the building will be carried out by demolition operatives to remove as much of the waste materials from the building ahead of the demolition works. This would include doors, frames, windows, timber of any description, (not appertaining to roof or main structure) toilets, pipe work, ducting, electrical items and any debris.
- Materials will be loaded by hand method into skips and removed from the site where possible. Where access for skips is not available the materials will be segregated and stored within the building where they will be removed at a later stage.
- All soft stripped materials will be processed and segregated into individual waste/recycling streams. All materials deemed suitable for recycling will be loaded into suitable skips and transferred from the site to a suitable recycling venue.
- Any clean, unpainted constructional timber will be segregated from the general waste and segregated for recycling by a specialist company.
- Any waste deemed as not suitable for recycling will be removed from site in skips as controlled waste to an appropriately licensed landfill site.

viii Details of measures to reduce the impacts of noise.

8.14 The demolition method statement sets out a number of measures to reduce the impacts of noise. These include the following measures:

- All vehicles, mechanical plant and machinery used during the development will be fitted with proper and effective silencers.
- All plant and machinery in intermittent use will be shut down in the intervening periods between works.
- Plant and machinery capable of generating significant noise and vibration levels will be operated in a manner to restrict its duration.
- Static plant and machinery will be sited as far away as possible from inhabited

buildings or other noise sensitive locations.

- All compressors will be 'noise reduced' models that are fitted with properly lined and sealed acoustic covers which will be kept closed whenever the machines are in use.
- All ancillary pneumatic percussion tools will be fitted with mufflers or silencers of the type recommended by the manufacturers.
- Wherever possible mains electricity or battery powered equipment will be used instead of diesel- or petrol-powered generators.
- The handling of materials will be conducted in such a manner that minimises noise, including minimising drop heights into hoppers and lorries.
- No stereos or similar amplified devices will be audible beyond the site boundary.
- Reversing manoeuvres will be avoided in the early morning to prevent reversing sirens sounding. Mobile plant, which requires approximately 20 minutes idling to warm-up before a shift, will be parked sensibly away from houses.
- A super-silenced generator would be used to provide electrical power to the site compound. Any particularly noisy operations (e.g.: use of hydraulic breakers) will be programmed to minimise disturbance.

Summary

- 8.15 It is considered that these details meet the requirements of the condition and the CEMP and Demolition Method Statement are acceptable and appropriate for the development. Neither the Highways, nor the Environmental Health Teams have raised any objections to the details submitted in this respect. The details should therefore be approved, and the condition discharged.

Equality and Diversity

- 8.16 The Equality Act 2010 (as amended) imposes important duties on public authorities in the exercise of their functions and specifically introduced a Public Sector Equality Duty. Under this duty, public organisations are required to have due regard for the need to eliminate unlawful discrimination, harassment and victimisation, and must advance equality of opportunity and foster good relations between those who share a protected characteristic and those who do not. Officers have in considering this application and preparing this report had careful regard to the requirements of the Equalities Act 2010 (as amended). They have concluded that the decision recommended will not conflict with the Council's statutory duties under this legislation.

Conclusion

- 8.17 For the reasons set out above, it is considered that the Local Planning Authority should approve the details submitted in respect of Condition 10 of planning permission reference 23/00451/FUL.

9 Recommendation

- 9.1 **APPROVE DETAILS FOR CONDITION 10**

- 10 The details of the Construction Method Statement as set out in the Construction Environment Management Plan (CEMP) January 2024 Rev A by R J Ellis Ltd Plan including Plan 250 REV A Site Compounds and Plan 251 Site Access Routes and the Demolition Method Statement REF: 14749 by Edward Parsley Associates - Updated April 24, satisfy the requirements of Condition 10 of planning permission 23/00451/FUL, are acceptable in all relevant regards and are hereby approved.**