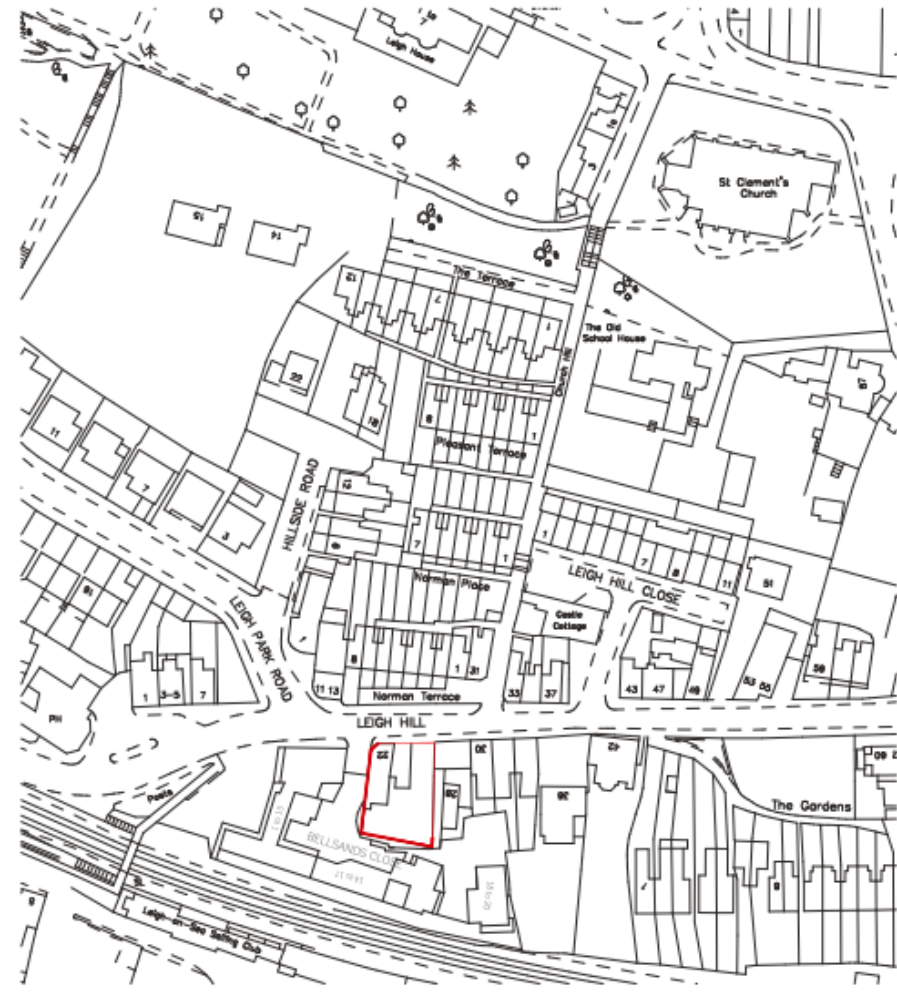


22-26 Leigh Hill

24/00272/FUL

Location Plan

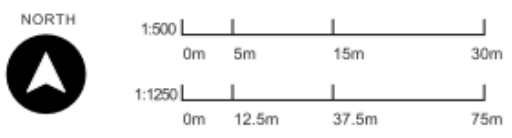
The copyright in all drawings, schedules, specifications and any other documentation prepared by Scene Architects in relation to this project shall remain the property of Scene Architects and must not be reissued, loaned or copied without prior written consent.



Scale 1:1250



Scale 1:500



Stage 3

KEY

BOUNDARY LINE

22-26 LEIGH HILL

// LOCATION PLAN

Client Name Caneleigh Limited
 Address 22-26 Leigh Hill Leigh-on-Sea, Essex, SS9 2DN

Drawn by EB Checked by DMC
 Scale 1:1250, 1:500@ A3 Date 07 February 2024
 Scene Ref. 909 Rev no. PL01
 Drawing no. LH-SCN-XX-XX-DR-A-01.001-A1

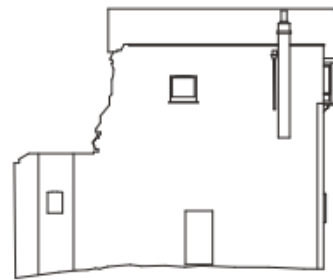
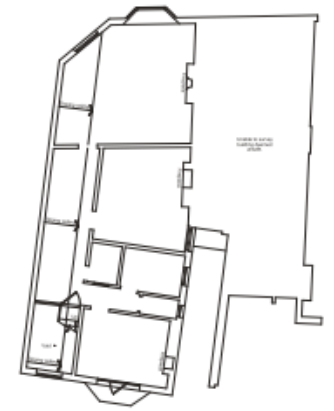
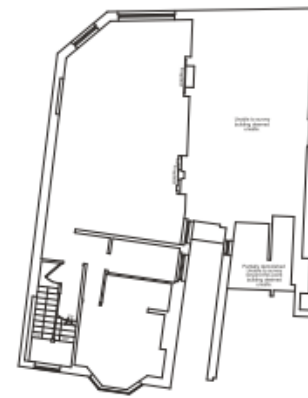
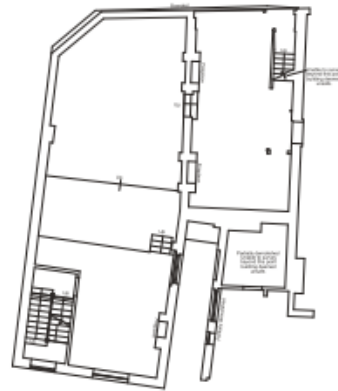
Rev	Description	Date
01	Initial Issue	29.06.23



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Existing Plans and Elevations

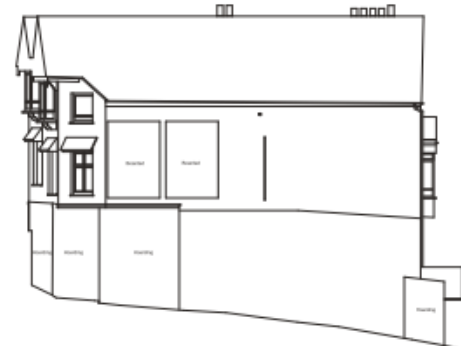
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ELEVATION 1



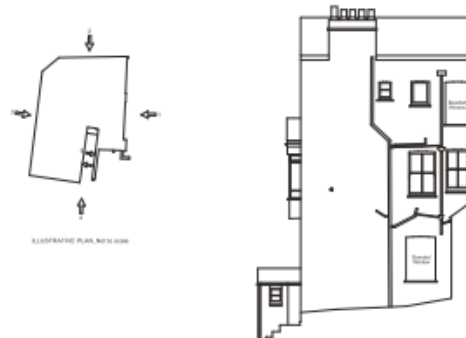
ELEVATION 2



ELEVATION 3



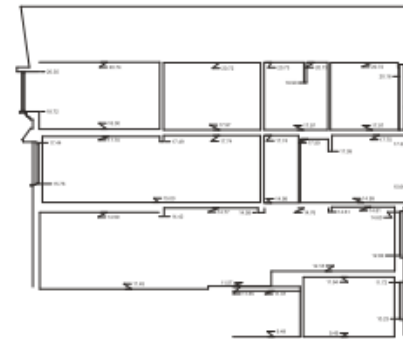
ELEVATION 4



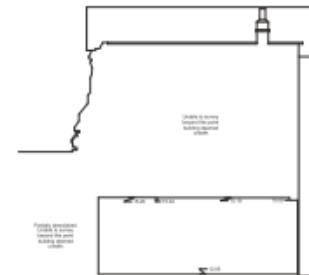
ELEVATION 5



ELEVATION 6



SECTION AA

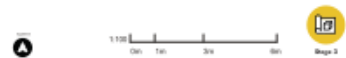


SECTION BB



ILLUSTRATIVE PLAN, SEE DRAWING

AS EXISTING FLOOR PLANS & ELEVATIONS & SECTIONS



22-26 LEIGH HILL // EXISTING FLOOR PLANS & ELEVATIONS & SECTIONS

Client Name	Canaligh Limited	Drawn by	ES	Checked by	DNC
Site Address	22-26 Leigh Hill, Leigh-on-Sea, Essex, SS9 2DR	Scale	1:100 @ A1	Date	07 February 2024
		Scene Ref	906	Rev no	PL01
		Drawing no.	LH-GCN-XX-XX-DR-A-10.001-A1		

01	Initial Issue	EM	22.08.23
02	Revisions		





28 Leigh Hill

Site



Fig 1.9.12 & 1.9.13 // Photos outside of the building, Front elevation



Fig 1.9.15 // Photo outside of the building, Rear elevation



Fig 1.9.014 & 1.9.14 // Photos outside of the building, Rear elevation



Fig 1.9.16 & 1.9.17 // Photos outside of the building, Side elevation



Neighbours from Site



Interior



Fig 1.9.04 & 1.9.05 & 1.9.06 // Photos inside of the building

Fig 1.9.01 // Photos inside of the building



Fig 1.9.07 & 1.9.08 // Photos inside of the building

Fig 1.9.02 // Photos inside of the building



Fig 1.9.09 & 1.9.10 & 1.9.11 // Photos inside of the building

Fig 1.9.03 // Photos inside of the building

Streetscene

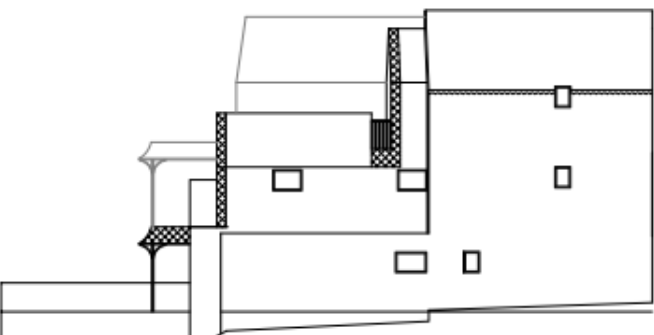


Planning History

14/01852/FUL Residential Scheme Approved



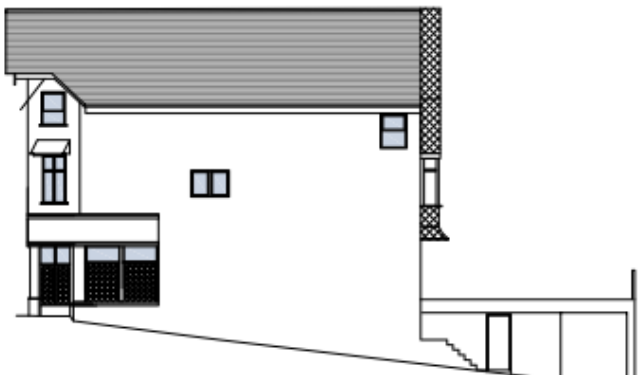
Proposed north facing elevation 1:100



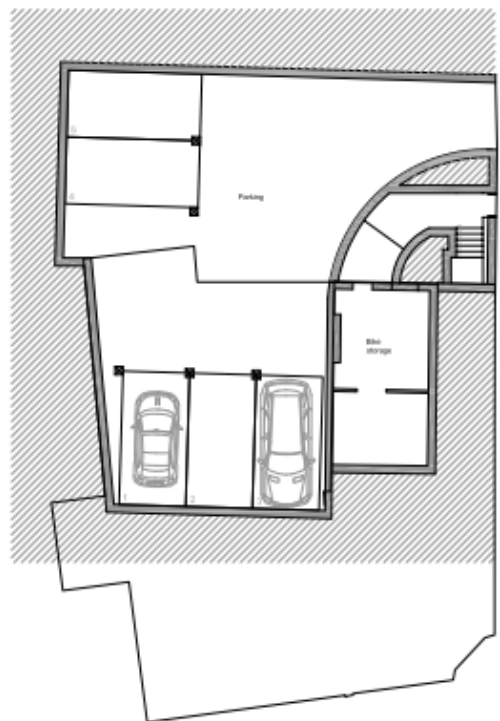
Proposed east facing elevation 1:100



Proposed south facing elevation 1:100



Proposed west facing elevation 1:100

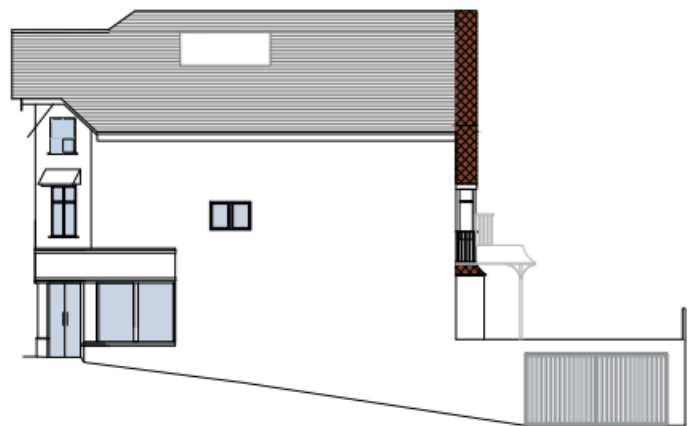


Planning History

18/01431/FUL Mixed Use Scheme Approved



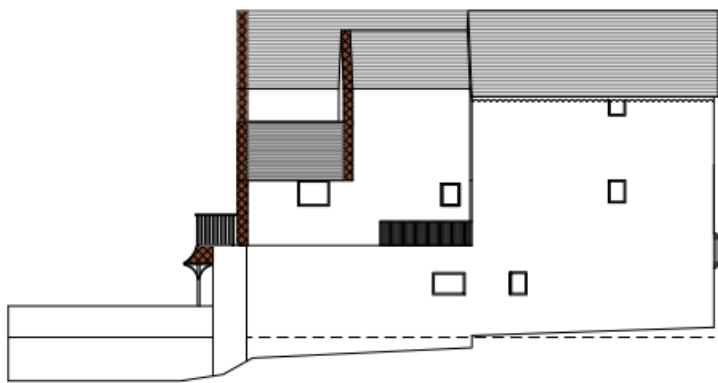
Proposed North Facing Elevation 1:100



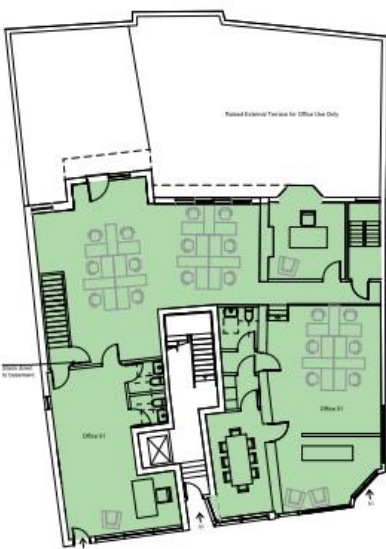
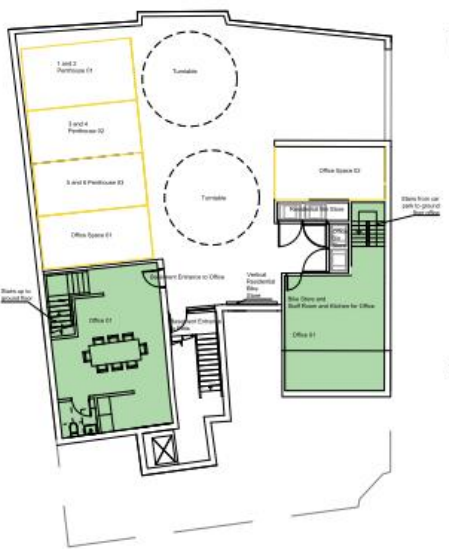
Proposed West Facing Elevation 1:100



Proposed South Facing Elevation 1:100



Proposed East Facing Elevation 1:100



Planning History

22/0606/FUL Residential Scheme Refused



FRONT ELEVATION



EVATION



REAR ELEVATION



SIDE ELEVATION



24/00272/FUL Current Proposal Elevations



FRONT ELEVATION



SIDE 01 ELEVATION

Garage Entrance
NOTE: no garage floor will be installed. The existing gate at Ball Sands, at the top of the ramp, provides sufficient security to the integrated lower ground floor parking area.



REAR ELEVATION

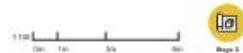


SIDE 02 ELEVATION

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NO	DESCRIPTION	DATE	BY	REVISIONS
01	Issue for planning	15/09/23	EB	
02	Issue for building control	17/09/23	EB	
03	Issue for construction	28/12/23	EB	

AS PROPOSED ELEVATIONS



22-26 LEIGH HILL

// PROPOSED ELEVATIONS

Client Name: Canelagh Limited
Site Address: 22-26 Leigh Hill, Leigh-on-Sea, Essex, S99 2DN

Drawn by: EB
Scale: 1:100 @ A1
Scene Ref: 600
Date: 07 May 2024
Rev no.: PL02

Drawing no.: LH-S04-BX-22-DH-A-22-303-03



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24/00272/FUL

Current Proposal

North & South Streetscenes

KEY:
- - - Outline of previously approved scheme



KEY:
- - - Outline of previously approved scheme

02	Revisions of Site/Street Elevations	ES	07.08.24
01	Initial Issue	ER	28.12.23
Rev	Description	Issue	Date

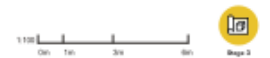
22-26 LEIGH HILL // PROPOSED STREET SCENE

Client Name: Camleigh Limited
Site Address: 22-26 Leigh Hill, Leigh-on-Sea, Essex, S59 2DN
Scale: 1:100 (A1)
Scene Ref: 000
Drawing no: LH-SCN-XX-ZZ-DPA-A-ZZ-000-A3
Drawn by: ES
Checked by: DMC
Date: 07 May 2024
Rev no: PL02



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AS PROPOSED STREET SCENE

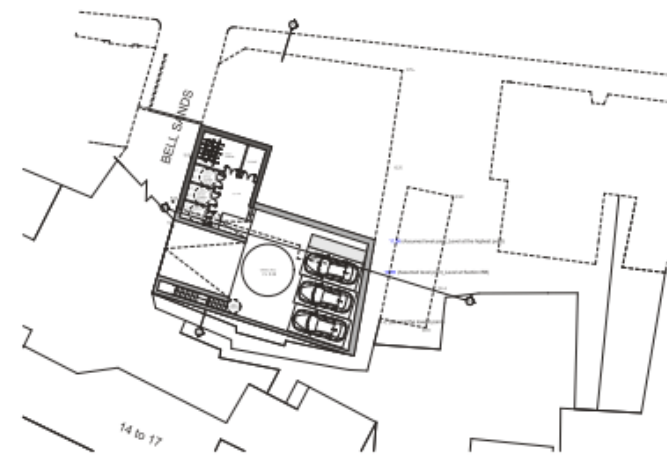


24/00272/FUL Current Proposal Sections

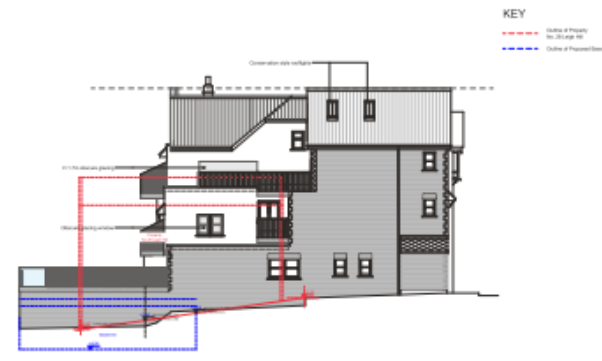
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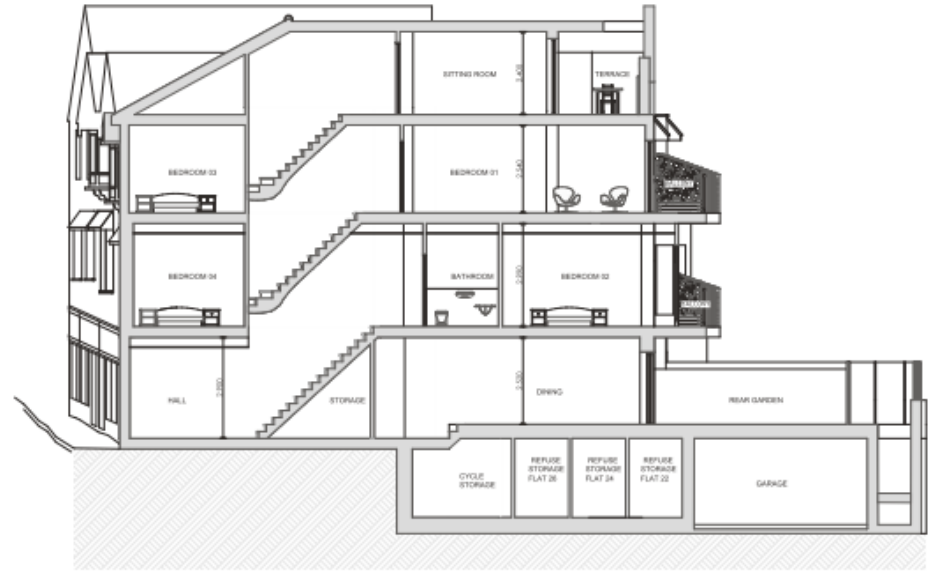
PROPOSED SITE PLAN
Not to scale



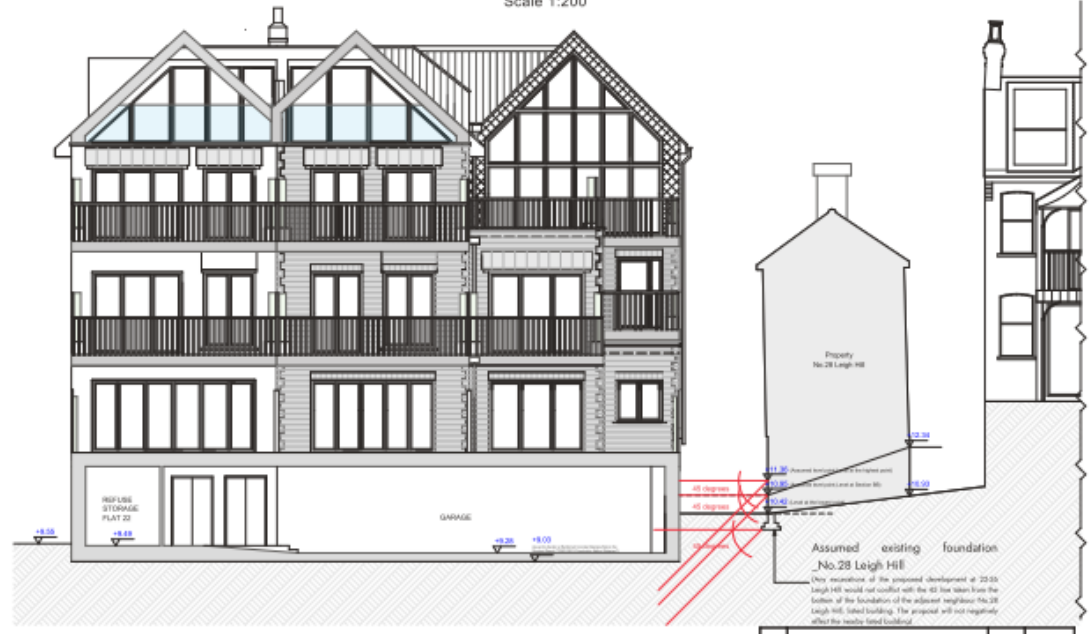
PROPOSED BASEMENT PLAN
Not to scale



PROPOSED SIDE 02 ELEVATION
Scale 1:200



PROPOSED SECTION AA

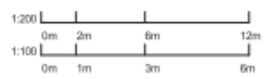


PROPOSED SECTION BB

Assumed existing foundation
No.28 Leigh Hill
This recreation of the proposed development at 22-26 Leigh Hill would not conflict with the 45° line taken from the bottom of the foundation of the adjacent neighbour No.28 Leigh Hill, listed building. The proposal will not negatively affect the nearby listed building.

Rev.	Description	Initials	Date
04	Amendments of Side 02/Elevations	EB	07.05.24
03	Revision and adding information	EB	06.04.24
02	Revision of Section BB	EB	05.04.24
01	Initial issue	EB	25.12.23

AS PROPOSED SECTION AA & SECTION BB



22-26 LEIGH HILL // PROPOSED SECTION AA & BB

Client Name	Caneleigh Limited	Drawn by	EB	Checked by	DMC
Site Address	22-26 Leigh Hill Leigh-on-Sea, Essex, SS9 2DN	Scale	1:100/1:200 @ A2	Date	07 May 2024
		Scene Ref.	909	Rev no.	PL04
		Drawing no.	LH-SCN-XX-XX-DR-A-ZZ.001-A3		



24/00272/FUL

Current Proposal

Sections

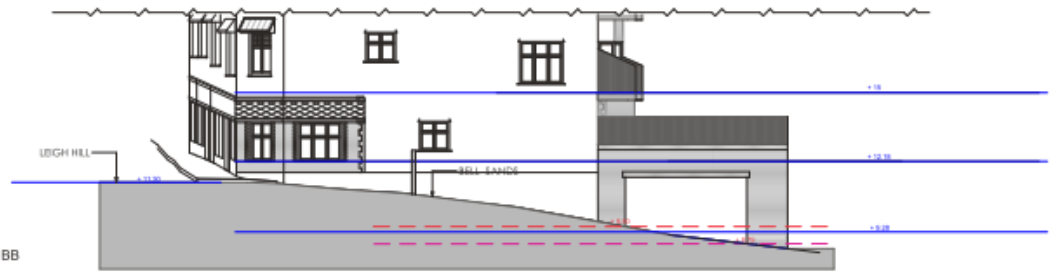


PROPOSED BASEMENT PLAN

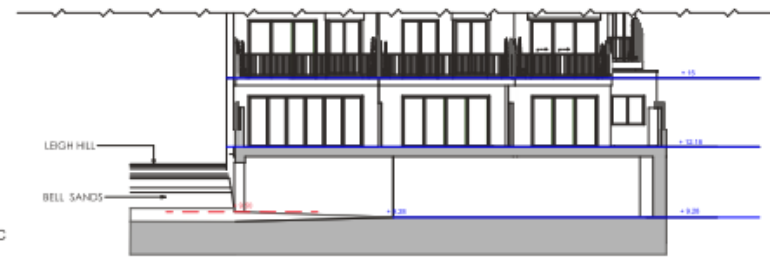
PROPOSED GROUND FLOOR PLAN



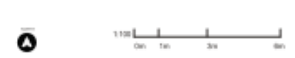
SECTION AA



SECTION BB



SECTION CC



22-26 LEIGH HILL // SUPPORTING DRAWINGS

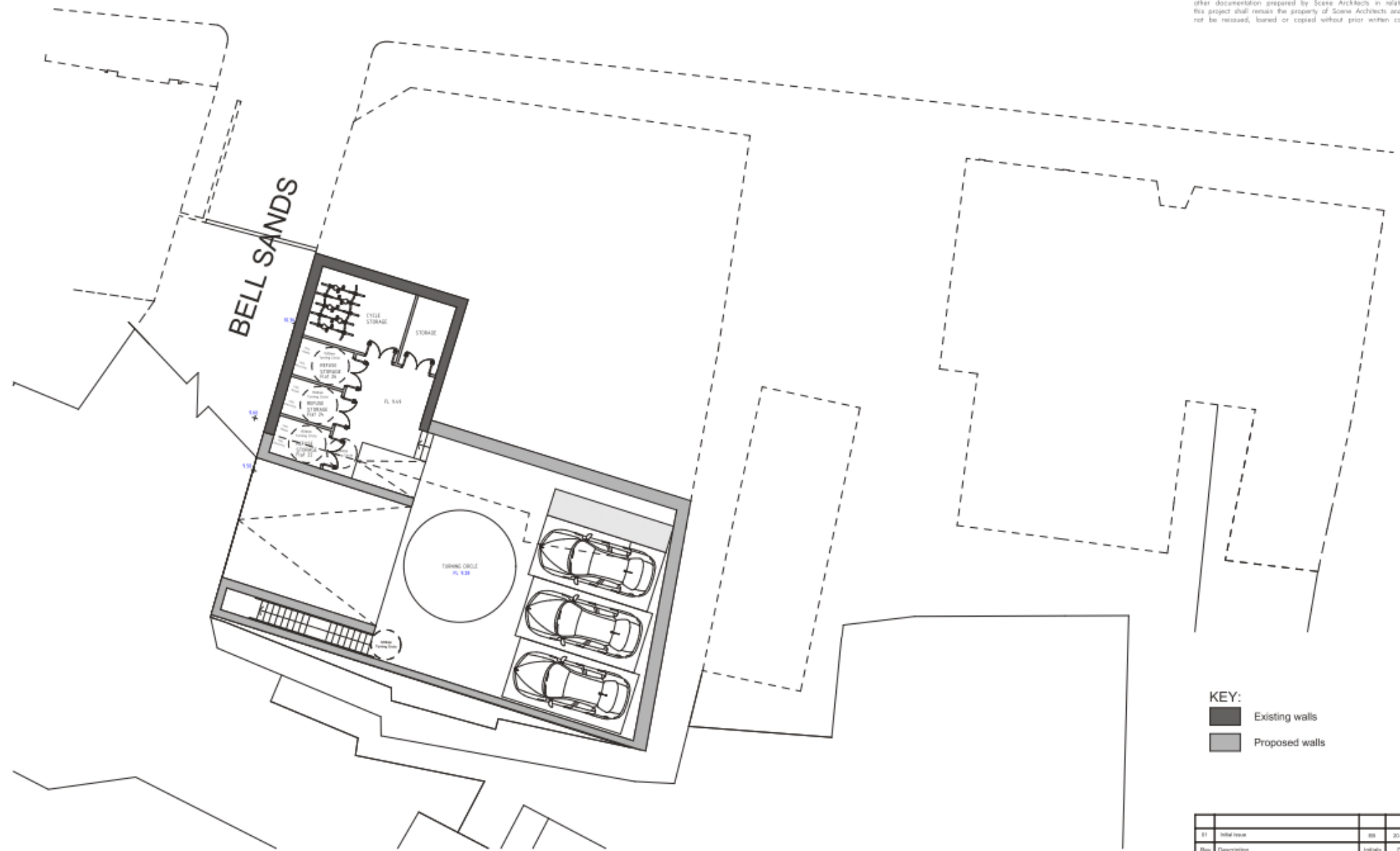
Client Name	Candlish Limited	Drawn by	ES	Checked by	DMC
Site Address	22-26 Leigh Hill Leigh-on-Sea, Essex, SS9 2DH	Scale	1:100 @ A1	Date	07 February 2024
		Scene Ref.	900	Rev no.	PL01
		Drawing no.	LR-SCN-XX-ZZ-DR-A-ZZ-004-A3		

01	Initial issue	10/12/23
02	Revised	

24/00272/FUL

Current Proposal

Basement Plan



KEY:
 Existing walls
 Proposed walls

Rev	Description	Initials	Date
01	Initial Issue	EB	30.10.23

AS PROPOSED BASEMENT PLAN



1:100
0m 1m 3m 6m



Page 3

22-26 LEIGH HILL

// PROPOSED BASEMENT PLAN

Client Name	Caneleigh Limited	Drawn by	EB	Checked by	DMC
Site Address	22-26 Leigh Hill Leigh-on-Sea, Essex, SS9 2DN	Scale	1:100 @ A2	Date	07 February 2024
Scene Ref.	909	Rev no.	PL01	Drawing no.	LH-SCN-XX-XX-DR-A-10.002-A3



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24/00272/FUL
Current
Proposal

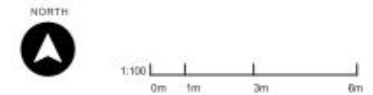
Ground Floor



KEY:
 Existing walls
 Proposed walls

Rev	Description	Initials	Date
01	Initial issue	EB	26.10.23

AS PROPOSED GROUND FLOOR PLAN



22-26 LEIGH HILL // PROPOSED GROUND FLOOR PLAN

Client Name	Caneleigh Limited	Drawn by	EB	Checked by	DMC
Site Address	22-26 Leigh Hill, Leigh-on-Sea, Essex, SS9 2DN	Scale	1:100 @ A2	Date	07 February 2024
		Scene Ref.	909	Rev no.	PL01
		Drawing no.	LH-SCN-XX-XX-DR-A-10.003-A3		



24/00272/FUL

Current Proposal

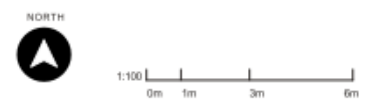
First Floor



KEY:
 Existing walls
 Proposed walls

Rev	Description	Initials	Date
01	Initial issue	DM	20.12.23

AS PROPOSED FIRST FLOOR PLAN



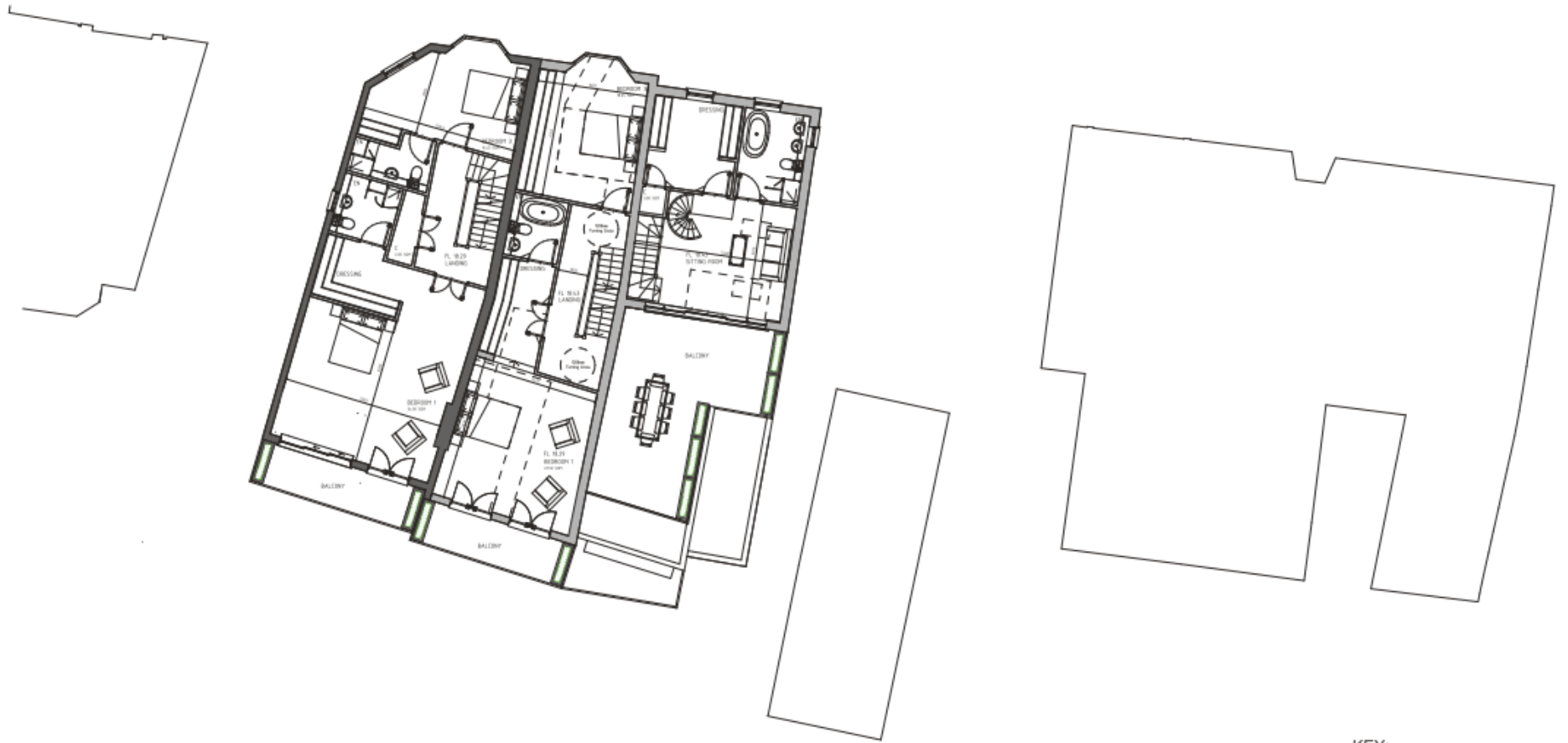
22-26 LEIGH HILL		// PROPOSED FIRST FLOOR PLAN	
Client Name	Caneleigh Limited	Drawn by	EB
Site Address	22-26 Leigh Hill Leigh-on-Sea, Essex, SS9 2DN	Checked by	DMC
		Scale	1:100 @ A2
		Date	07 February 2024
		Scene Ref.	909
		Rev no.	PL01
		Drawing no.	LH-SCN-XX-XX-DR-A-10.004-A3



24/00272/FUL

Current Proposal

Second Floor



KEY:
 Existing walls
 Proposed walls

Rev	Description	Initials	Date
01	Initial Issue	EB	26.12.23

AS PROPOSED SECOND FLOOR PLAN



1:100
 0m 1m 3m 6m



Step 3

22-26 LEIGH HILL // PROPOSED SECOND FLOOR PLAN

Client Name	Caneleigh Limited	Drawn by	EB	Checked by	DMC
Site Address	22-26 Leigh Hill Leigh-on-Sea, Essex, SS9 2DN	Scale	1:100 @ A2	Date	07 February 2024
		Scene Ref.	909	Rev no.	PL01
		Drawing no.	LH-SCN-XX-XX-DR-A-10.005-A3		



24/00272/FUL

Current Proposal

Third Floor



KEY:
 Existing walls
 Proposed walls

Rev	Description	Initials	Date
01	Initial Issue	EB	28.12.20

AS PROPOSED THIRD FLOOR PLAN



1:100
 0m 1m 3m 6m



Step 3

22-26 LEIGH HILL // PROPOSED THIRD FLOOR PLAN

Client Name	Caneleigh Limited	Drawn by	EB	Checked by	DMC
Site Address	22-26 Leigh Hill Leigh-on-Sea, Essex, SS9 2DN	Scale	1:100 @ A2	Date	07 February 2024
		Scene Ref.	909	Rev no.	PL01
		Drawing no.	LH-SCN-XX-XX-DR-A-10.006-A3		



24/00272/FUL

Current Proposal

Roof Plan



AS PROPOSED SITE PLAN & ROOF PLAN



1:100
0m 1m 2m 3m 4m



Stage 3

22-26 LEIGH HILL

// PROPOSED SITE PLAN & ROOF PLAN

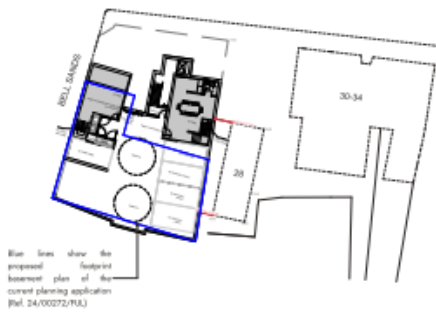
Client Name	Canleigh Limited	Drawn by	ES	Checked by	DVC
Site Address	22-26 Leigh Hill, Leigh-on-Sea, Essex, S55 2DN	Scale	1:100 @ A1	Date	07 February 2024
		Scene Ref	666	Rev no.	PL01
		Drawing no.	LH-SCN-XX-XX-OR-A-10/201-A3		

Rev	Description	Issue	Date
01	Initial Issue	ES	20/12/23

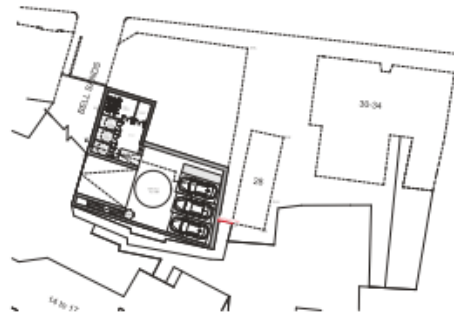


24/00272/FUL Current Proposal

Comparison with 2018 approval



PROPOSED BASEMENT PLAN_
GRANTED PLANNING APPLICATION (Ref. No. 18/01431/FULL)



PROPOSED BASEMENT PLAN_
CURRENT PLANNING APPLICATION (Ref. No. 24/00272/FUL)



PROPOSED SECOND FLOOR PLAN_
GRANTED PLANNING APPLICATION (Ref. No. 18/01431/FULL)



PROPOSED SECOND FLOOR PLAN_
CURRENT PLANNING APPLICATION (Ref. No. 24/00272/FUL)



PROPOSED GROUND FLOOR PLAN_
GRANTED PLANNING APPLICATION (Ref. No. 18/01431/FULL)



PROPOSED GROUND FLOOR PLAN_
CURRENT PLANNING APPLICATION (Ref. No. 24/00272/FUL)



PROPOSED THIRD FLOOR PLAN_
GRANTED PLANNING APPLICATION (Ref. No. 18/01431/FULL)



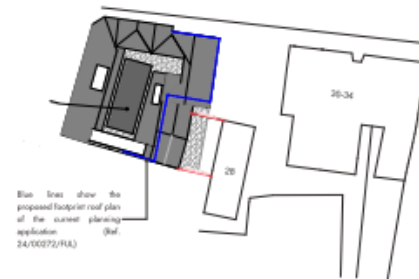
PROPOSED THIRD FLOOR PLAN_
CURRENT PLANNING APPLICATION (Ref. No. 24/00272/FUL)



PROPOSED FIRST FLOOR PLAN_
GRANTED PLANNING APPLICATION (Ref. No. 18/01431/FULL)



PROPOSED FIRST FLOOR PLAN_
CURRENT PLANNING APPLICATION (Ref. No. 24/00272/FUL)



PROPOSED ROOF PLAN_
GRANTED PLANNING APPLICATION (Ref. No. 18/01431/FULL)



PROPOSED ROOF PLAN_
CURRENT PLANNING APPLICATION (Ref. No. 24/00272/FUL)

NOTE: This supporting drawing has been prepared to support the current planning application (with reference number 24/00272/FUL) showing the relationship with the listed building at No. 28 Leigh Hill and along with the report provided by the structural engineer demonstrate that the new proposal won't affect negatively the neighbour at No.28.

A comparison has been prepared between the previously granted application with reference number 18/01431/FULL and the proposed development of the current planning application, showing that the proposal has been designed and improved from the previous granted reducing the scale and mass of the building area of the house No.28 to avoid any overdevelopment and any issues with the nearby listed building. The same careful attention has been taken regarding the loss of privacy and overlooking issues with proper side set back from the boundary line especially at the second and third floors and with obscured windows that avoid any direct view of the neighbors. In addition, timber fences and planters have been installed on the proposed balconies and terraces to secure privacy and avoid any overlooking.

The proposed additional floor at No.26 in the current planning application has been designed to not affect the listed building as it has been set up with a big setback from the rear elevation of approx 8m and far enough from the neighbour at No.28.

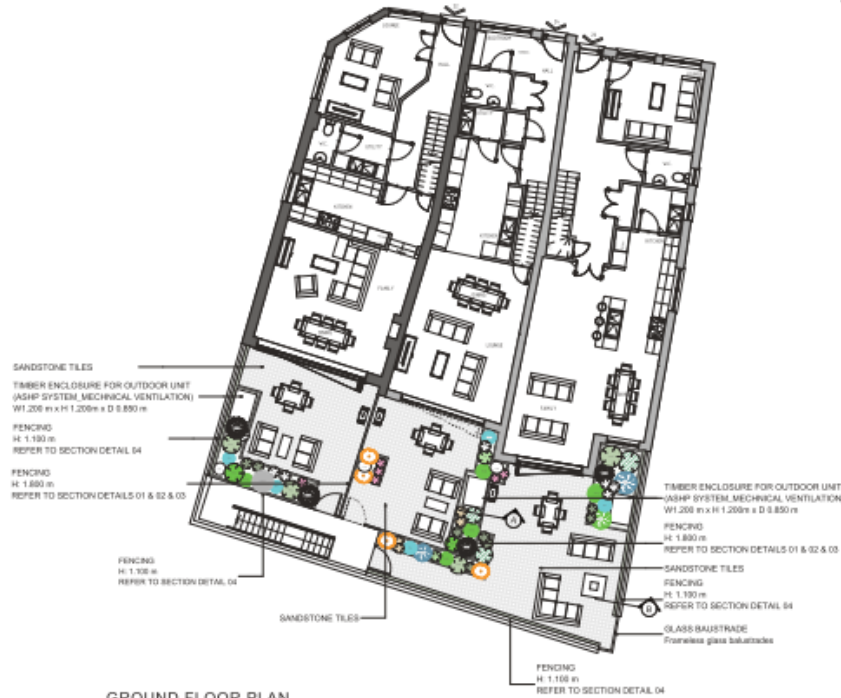
The previously granted application demonstrated that the proposal does not create any issues for the listed building neighbour at No.28. Scene Architects and the Applicant believe that with the new design and the improvements made, the proposal could be considered acceptable.

11	Initial issue	18	05.04.24
02	Revisions		

22-26 LEIGH HILL // RELATIONSHIP BETWEEN PROPOSAL & GRANTED APPLICATION 18/01431/FUL & LISTED BUILDING AT NO.28 LEIGH HILL

Client Name	Candleigh Limited	Drawn by	ES	Checked by	DMC
Site Address	22-26 Leigh Hill Leigh-on-Sea, Essex, SS9 2DN	Scale	Not to scale @ A1	Date	03 May 2024
Scene Ref	900	Rev no.	PL01		
Drawing no.	LH-02N-X3-ZZ-01A-ZZ-005-A3				

24/00272/FUL Current Proposal Landscaping



GROUND FLOOR PLAN

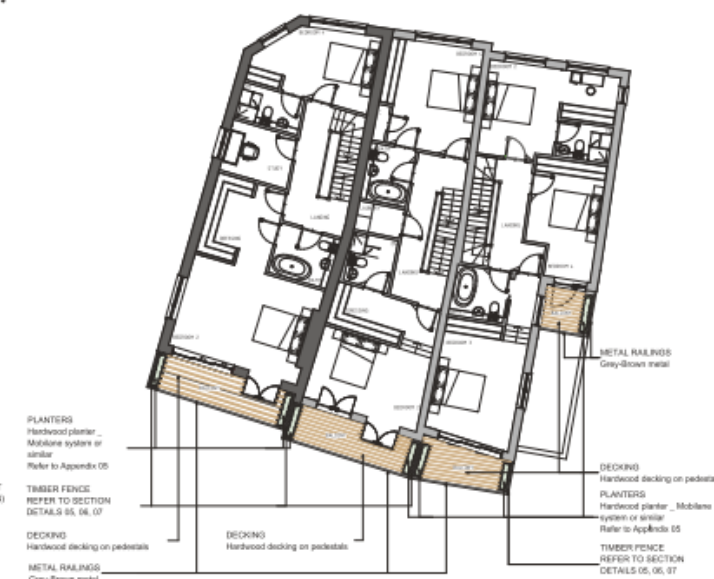


SECOND FLOOR PLAN

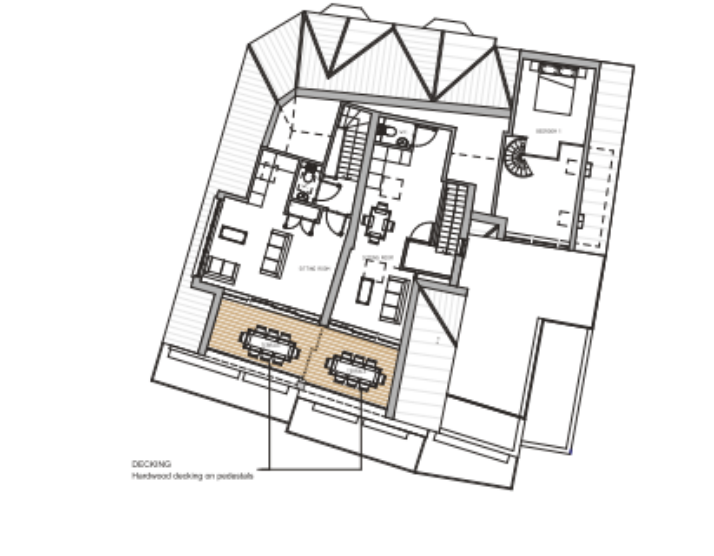
AS PROPOSED LANDSCAPE PLANS



Sheet 2



FIRST FLOOR PLAN



THIRD FLOOR PLAN

PLANT		MATURE HEIGHT	MATURE WIDTH	MAINTENANCE
	Hedera helix "Wintergreen"	6m - 8m	4.5m	Low maintenance, no wiring should be done during planting or bedding
	Acer palmatum "Crimson Queen"	1.5m - 2.5m	1.5m - 2.5m	Requires little to no maintenance
	Diptera x leucostachya "Bernal Progress" "Starburst"	0.9m - 1m	0.9m - 1m	Should not need pruning, if essential prune well in late spring
	Phytolacca spica "Black Sentinel"	2.5m - 4m	2.5m - 4m	Remove weak, dead, damaged or scaldy stems in winter and trim to shape off stems to best effect. Cut out any flowering shoots promptly to encourage more from flowering
	Fatsia japonica "Crimson Queen"	1.5m - 2.5m	1.5m - 2.5m	Should not need pruning, if essential prune well in late spring
	Phlox paniculata "Majesty"	0.9m - 1m	0.9m - 1m	Dead or damaged leaves may be removed in the spring
	Hebe "Black Beauty"	1m - 1.5m	1m - 1.5m	Should not need pruning, if essential prune well in late spring
	Fatsia japonica "Princess"	0.9m - 1m	0.9m - 1m	Should not need pruning, if essential prune well in late spring
	Phlox paniculata "Silver Queen"	2.5m - 4m	1.5m - 2.5m	Usually need no pruning. Remove dead, damaged, congested or crossing stems. Should be cut out promptly. In general, division can also be applied
	Phlox paniculata "Cherry"	1m - 1.5m	1m - 1.5m	Dead or damaged leaves may be removed in the spring
	Forsythia "Emerald Green"	0.9m - 1m	1m - 1.5m	Should not need pruning, if essential prune well in late spring
	Phlox paniculata "Blue Diamond"	0.9m - 1.2m	0.9m - 1.2m	Light pruning or shearing immediately after flowering
	Phlox paniculata "White"	1.5m - 2.5m	2.5m - 4m	Light pruning or shearing immediately after flowering
	Lonicera "White"	2.5m - 4m	2.5m - 4m	Prune any bare stem lying to autumn. In low maintenance or 'no-maintenance' situations, height
	Phlox paniculata "Fusion"	0m	2m	Late spring remove dead or damaged leaves and 20% retained foliage
	Aster "Black Beauty"	0.7m	0.25m x 0.4m	Whittle plants heavily back after flowering. In a good season can begin flowering in July
	Gaura "Peach Blossom"	1m	1m	Whittle plants - heavily back after flowering. In a good season can begin flowering in July
	Salvia "Royal Purple"	0.8m	0.4m	Pruning in spring, deadhead in summer. Flower heavily and bushy in a sunny location



REFERENCE IMAGE FOR THE ACOUSTIC ENCLOSURE OR SIMILAR

NO	DESCRIPTION	DATE	BY
01	Approved for 11/02/24	11/02/24	EB
02	Approved for 07/05/24	07/05/24	EB
03	Initial issue	20/12/23	EB
04	Revised	20/12/23	EB

22-26 LEIGH HILL

// PROPOSED LANDSCAPE PLANS

Client Name: Candlish Limited
Site Address: 22-26 Leigh Hill, Leigh-on-Sea, Essex, S29 2DN

Drawn by: EB
Scale: 1:100 @ A1
Scene Ref: 800
Drawing no: LH-SCN-XX-XX-DR-A-22-803-A5



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