

RTOR APPROVAL DRAWING

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Attention is drawn to the owner / builder to consult with neighbouring owners before any work is carried out with regard to the Party Wall Act 1999.
IMPORTANT NOTE: Works to be fully compliant with the CDM 2015 Regulations.
Do not scale from this drawing - Use figured dimensions only (all levels & dimensions to be checked)



EXISTING FRONT ELEVATION 1:100



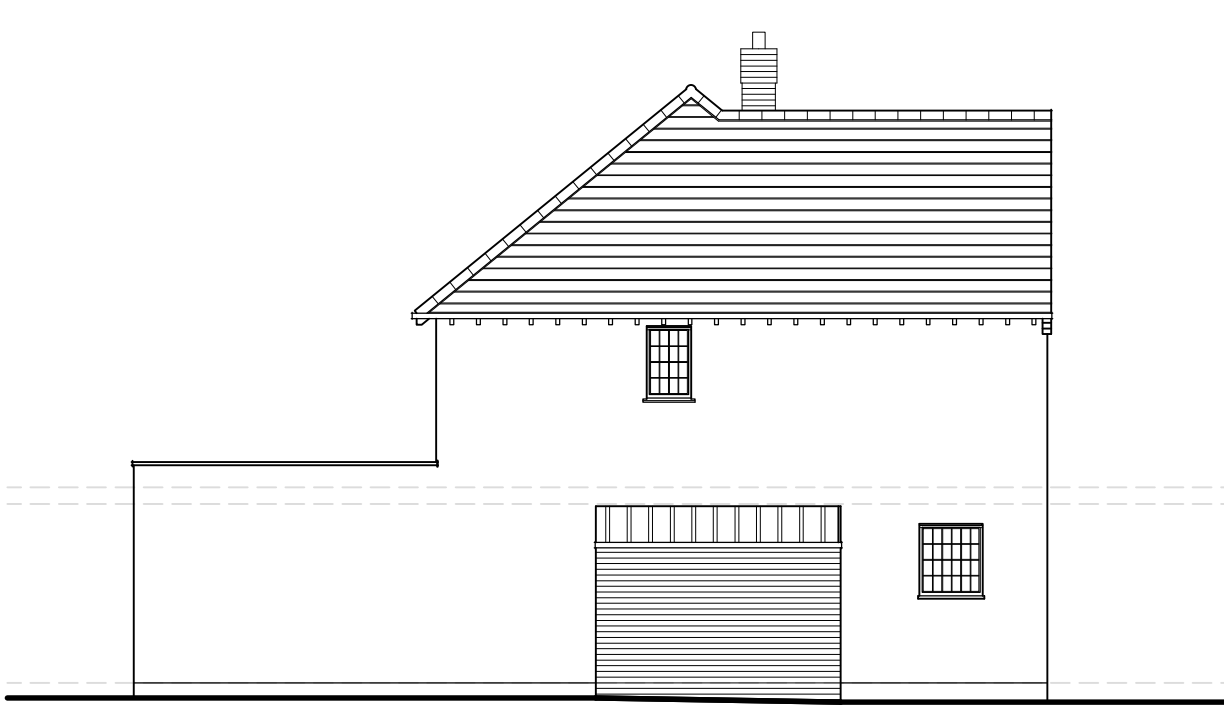
EXISTING SIDE ELEVATION 1:100



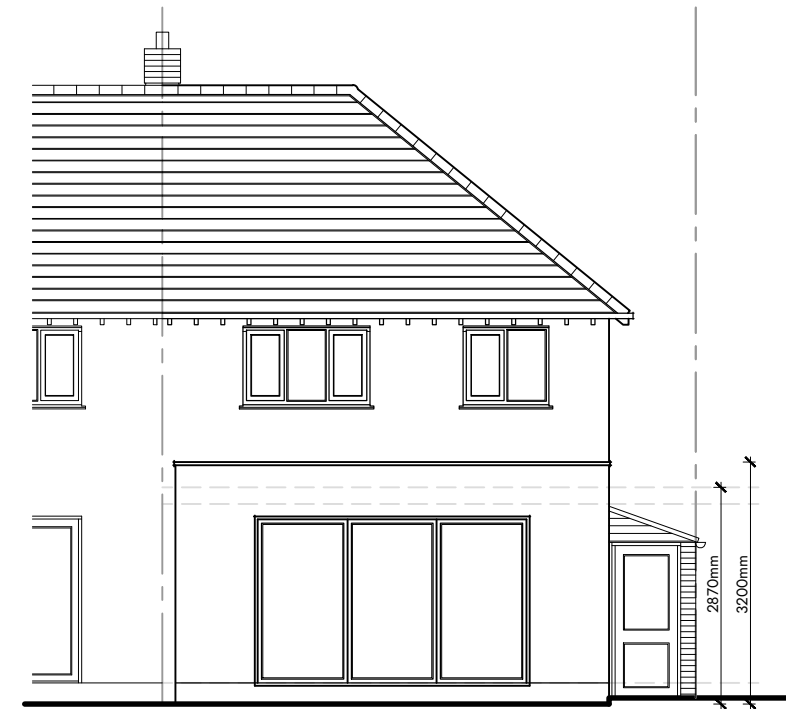
EXISTING REAR ELEVATION 1:100



FRONT ELEVATION 1:100 (unaltered)



PROPOSED SIDE ELEVATION 1:100



PROPOSED REAR ELEVATION 1:100



ADDITIONAL INFORMATION:

Maximum height of proposed single storey rear extension parapet will be no more than 3200mm.

The height of the flat roof of the proposed single storey extension will be no higher than 2950mm.

Client: Mr Rhys Taylor
 Location: 148 Shoebury Road, Thorpe Bay, Essex, SS1 3RL
 Project: Demolition of Existing Rear Lean-To Conservatory and Construct Single Storey Rear Extension EXISTING + PROPOSED ELEVATIONS (Prior Approval Notification)

Drawn: LS Checked: SRF
 Scale: 1:100 Date: November 2024
 Drawing No: 24.167/12 Rev:

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