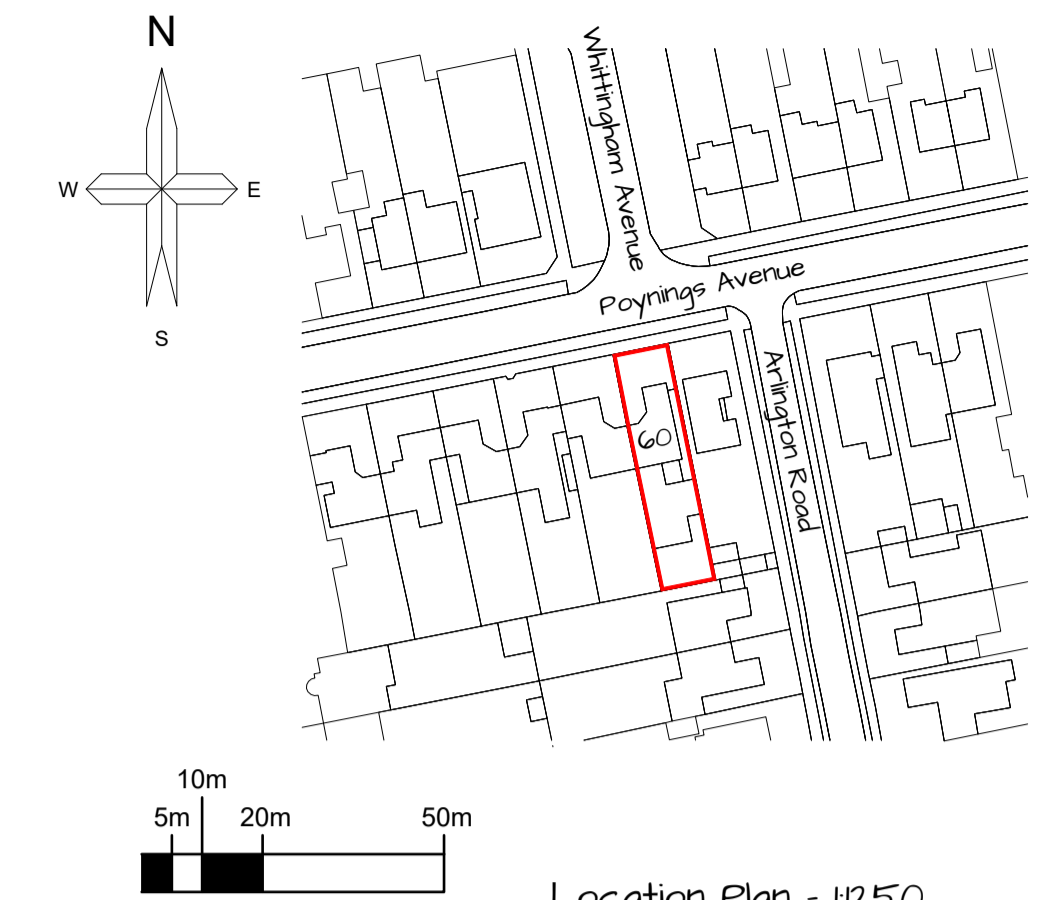
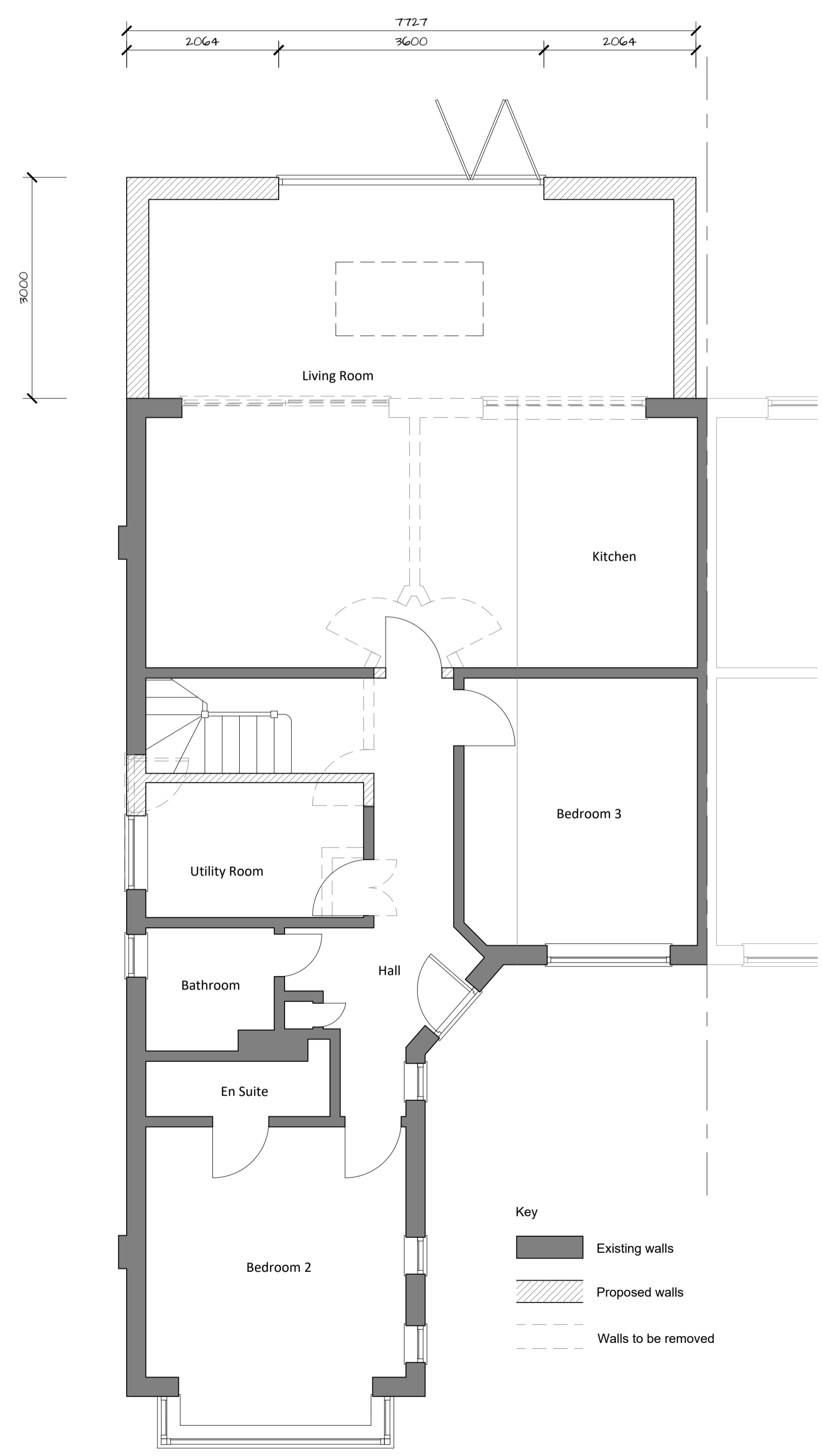
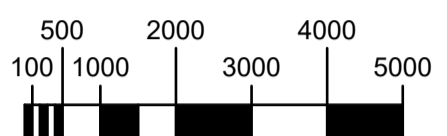


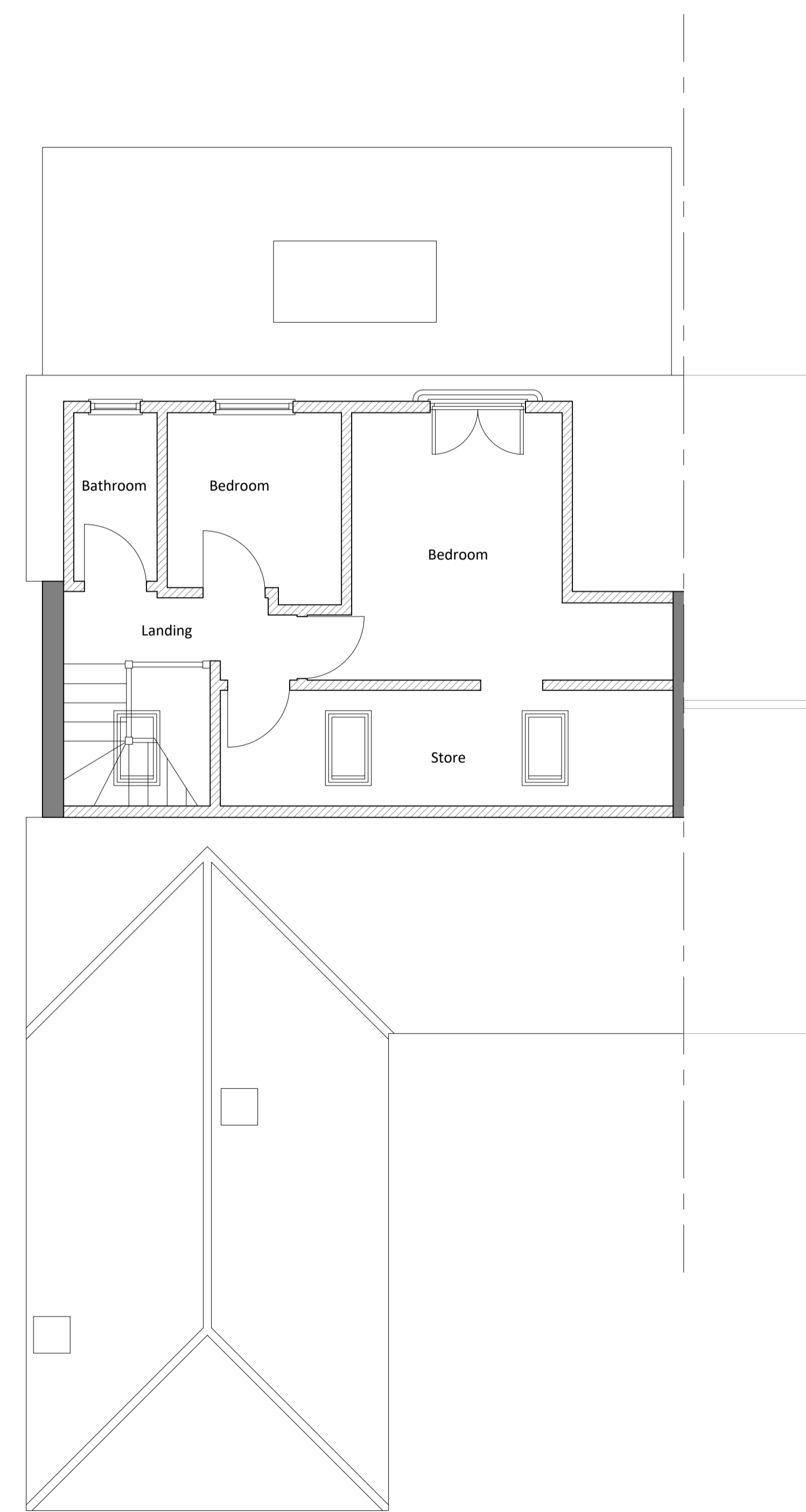
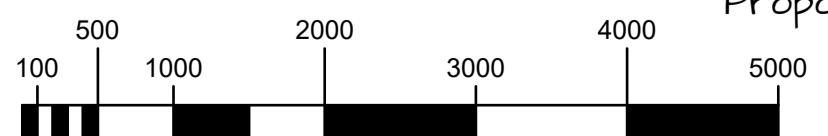
Proposed Elevations - H00



Location Plan - H250
© Crown copyright and database rights 2022
Ordnance Survey 0100031673

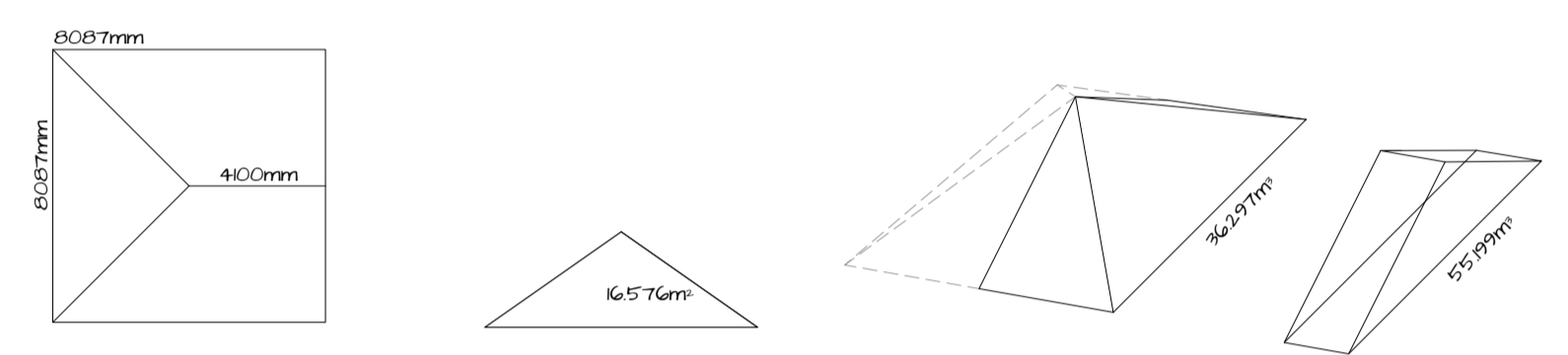


Proposed Ground Floor Plan - I50



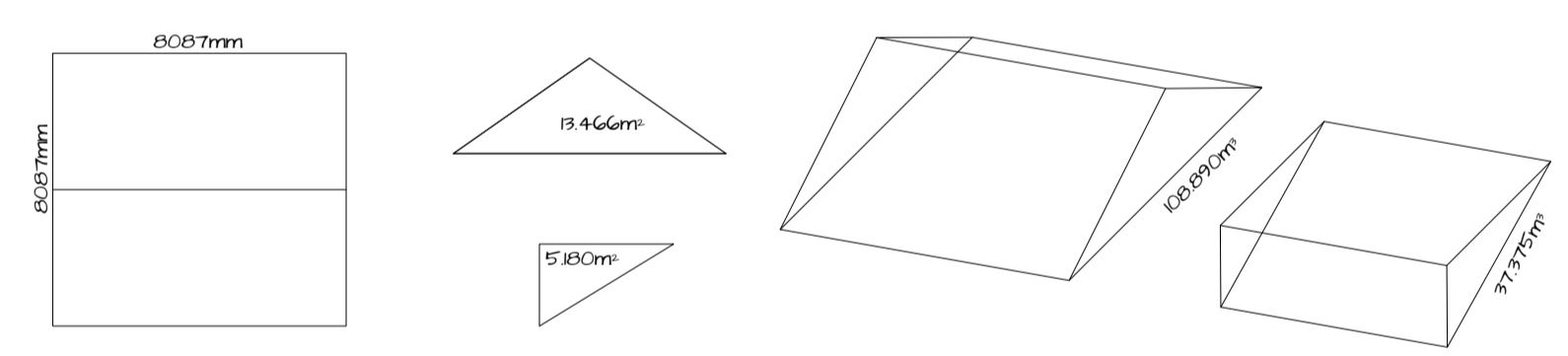
Proposed First Floor Plan - I50

Existing Roof



Hipped pyramid roof V=Wh²
 1.8087m
 w=8087m
 h=3330m
 2.896/3 = 1065m
 8087m x 8087m x 1065m = 73594m³
 Hipped section pyramid volume/2
 73594m³/2 = 36297m³
 Central gabled section area of gable x l
 1.4100m
 Area of gable # x h
 8087/2 = 4043m
 4043m x 4100m = 16576m²
 16576m² x 3330m = 55199m³
 Total existing volume 3325m³ + 48228m³ = **91496m³**

Proposed Roof



Main gabled section area of gable x l
 1.8087m
 Area of gable # x h
 8087/2 = 4044m
 4044m x 3330m = 13466m²
 13466m² x 8087m = 108899m³
 Rear dormer area of dormer side x l
 1.6250m
 Area of dormer side # x h
 3700/2 = 1850m
 1850m x 2.800m = 5180m²
 5180m² x 6250m = 32375m³
 Total proposed volume 108899m³ + 32375m³ = **141274m³**

Proposed additional volume as a result of hip to gable conversion and rear dormer
 Proposed roof volume - existing roof volume
 141274m³ - 91496m³ = **49778m³**

Compliance with Class B of the GPDO
 No part of the roof will as a result of the works, exceed the height of the existing roof.
 No part of the dwelling house will as a result of the works, extend beyond the plane of any existing roof slope which forms the principal elevation of the dwellinghouse and fronts a highway.
 The cubic content of the resulting roof space will not exceed the cubic content of the original roof space by more than 50 cubic metres.
 The proposals do not consist of or include the construction or provision of a verandah, balcony or raised platform nor do they include the installation, alteration or replacement of a chimney, flue or soil and vent pipe.
 The dwelling house is not on article2(3) land.
 The materials used in any external work will be of a similar appearance to those used in the construction of the exterior of the existing dwellinghouse.
 The eaves of the original roof will be retained or reinstated and the edge of the enlargement closest to the eaves of the original roof shall so far as is practicable be not less than 0.2 metres from the eaves, measured along the roof slope from the outside edge of the eaves and no part of the enlargement shall extend beyond the outside face of any external wall of the original dwellinghouse.
 Window inserted on side elevation of the dwellinghouse shall be -
 (i) obscure glazed and
 (ii) opening part of window to be more than 17 metres above the floor level of the rim in which the window is inserted.

Compliance with Class C of the GPDO
 Roof light/window and its frame will not project more than 0.15 metres beyond the plane of the slope of the original roof when measured from the perpendicular with the external surface of the original roof.
 Roof light/window will not result in the highest part of the alteration being higher than the highest part of the original roof.
 The proposals do not consist of or include the construction or provision of a verandah, balcony or raised platform nor do they include the installation, alteration or replacement of a chimney, flue or soil and vent pipe.

Rev.	Amendments
A	Elevations, dormer and calculations amended.

**Proposed Alterations to
60 Poynings Avenue
Southend on Sea
Essex
Mr Waldron**

Dir.No.: WA-PA-05 Scale: As Shown

gclarkitecture
architectural design

26 Herbert Road
Shoeburyness
Essex
SS3 9JR

01256 517071 / 07881 943990
guy@gclarkitecture.co.uk