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The drawing must be read in conjunction with all other project related drawings and documentation issued by the Architect and Appointed Consultants.

It is the contractor's responsibility to ensure compliance with the Building Regulations.

It is the contractor's responsibility to check all dimensions on site, any discrepancy to be reported immediately.

Details and sizes shown are indicative only and are subject to confirmation by the relevant Specialist contractor & sub-contractors.

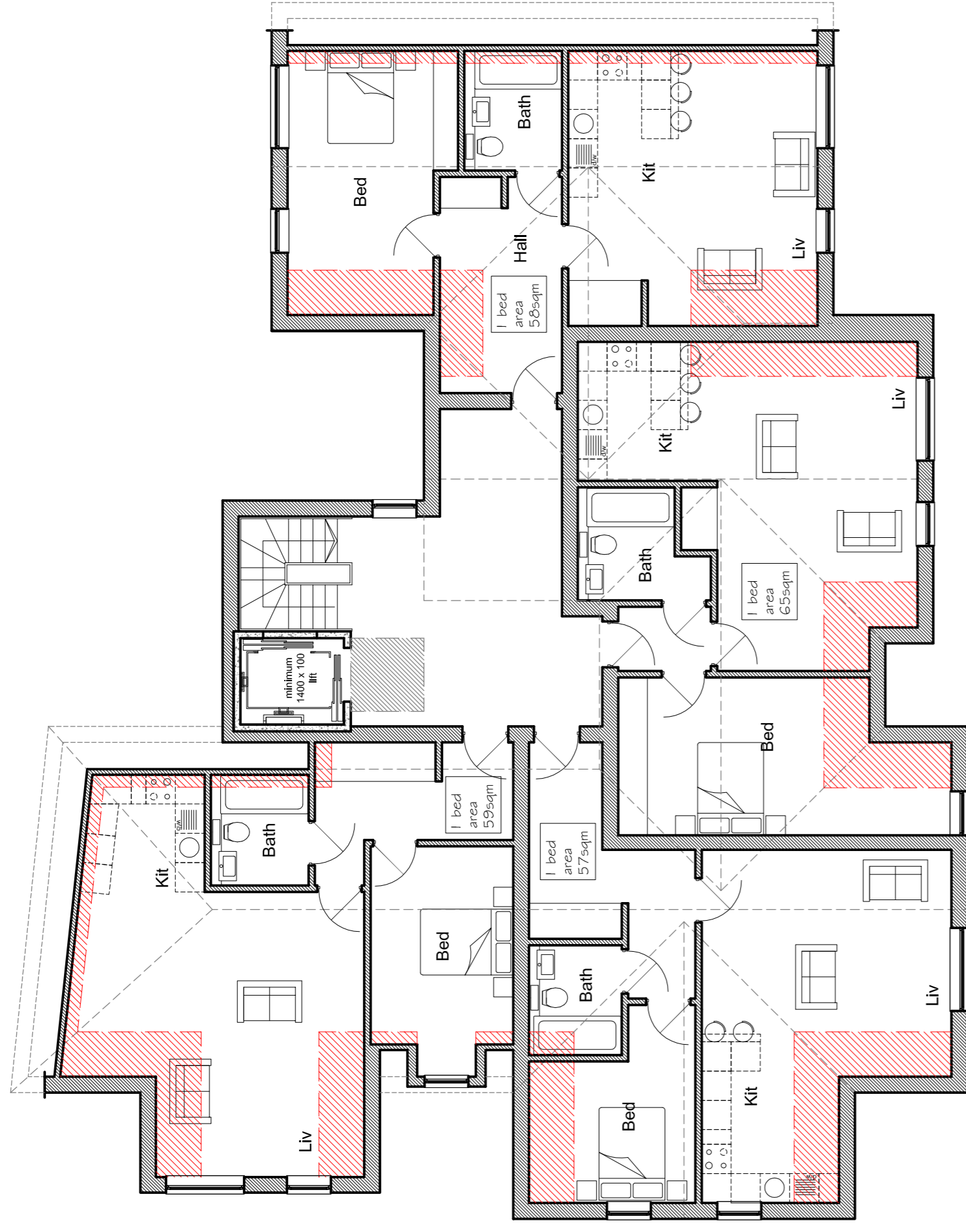
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Revision	Date
A	Amended to suit client comments 30.11.15
B	Draft floor layouts added 17.03.16
C	Planning information added 16.06.16
D	Gate and screening notation added 05.08.16
E	Lift shaft added 06.09.16

**ACCOMMODATION SCHEDULE**

	commercial	Studio	1 beds	2 beds
Ground Floor	2	-	-	-
First Floor	-	-	1	3
Second Floor	-	-	3	1
Totals	2		4	4
				8



Note areas noted are denoted by areas above 1500mm head height

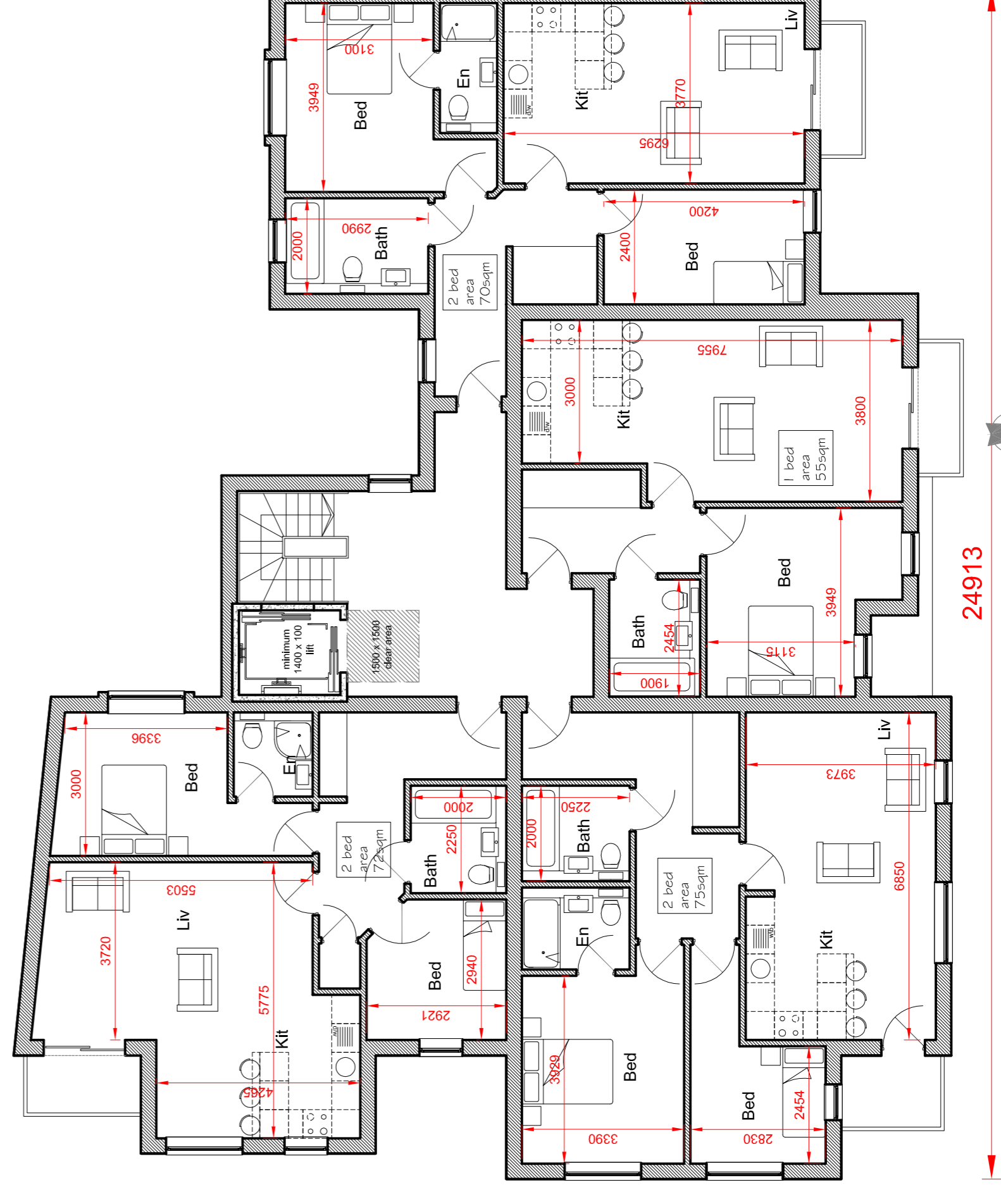
**SECOND FLOOR PLAN**

**PROPOSED PLANS**



Note: Plans to be constructed in accordance with Part M4(2) Building Regulations

**GROUND FLOOR PLAN**  
gross external area 210 sqm



Note: Plans to be constructed in accordance with Part M4(2) Building Regulations

**FIRST FLOOR PLAN**  
gross external area 330 sqm



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Proposed Floor Plans

Revision	Date
Planning	18.11.13
Scale	nr
Job number	041
Drawings no.	733
Revision	E