

Appendix 7: Key Application Plans



X:\0387100_SOUTHEND_BQ_PLANNING\DRAWINGS\PARAMETER_PLANS\REQ_LDA_ZZ_XX_XX_DR-N-ST-0001.DWG



LEGEND

- Planning Application Boundary
- Planning Application Boundary Exclusion Area only affecting the bridge over Queensway from Victoria Shopping Centre to Victoria Station
- Planning Application Boundary Exclusion Area for All Saints Church and its curtilage

REV. NO	DESCRIPTION	APP. DATE
01	Issued for Planning	24.07.20

LD A DESIGN

PROJECT TITLE
Better Queensway

DRAWING TITLE
Planning Application Boundary Location Plan

ISSUED BY	London	T: 020 7487 1470
DATE	02.04.2020	DRAWN NB
SCALE&A3	1:2,500	CHECKED NB
STATUS	Planning	APPROVED MW

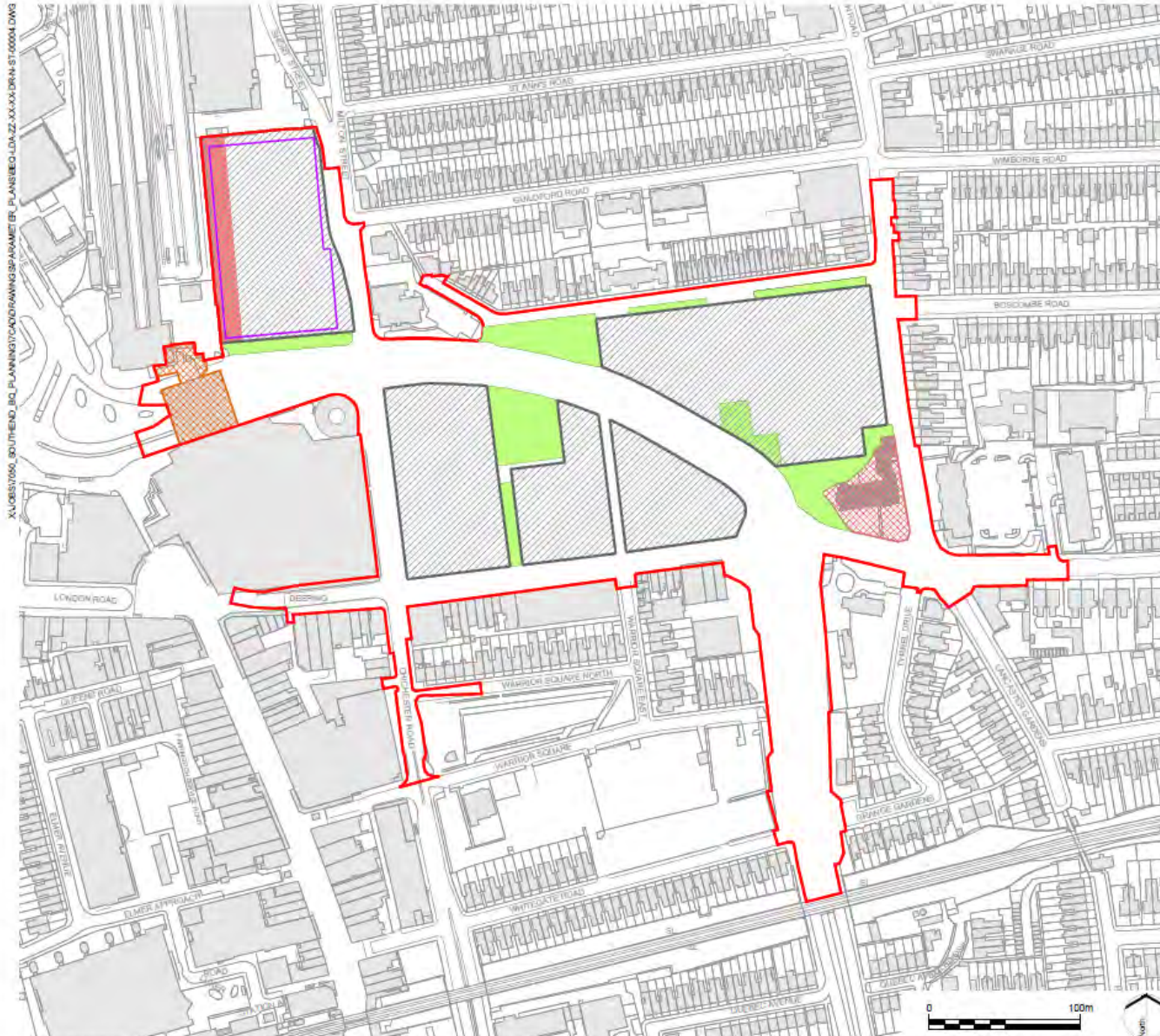
DWG. NO BEQ-LDA-ZZ-XX-XX-DR-N-ST-00001

No dimensions are to be scaled from this drawing.
 All dimensions are to be checked on site.
 Area measurements for indicative purposes only.
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 Sources: Ordnance Survey



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X:\0257056_SOUTHEND_BQ_PLANNING\DRAWINGS\PARAMETER_PLANS\BEQ-LDA-ZZ-XX-XX-DR-N-ST-00004.DWG



LEGEND

- Planning Application Boundary
- Planning Application Boundary Exclusion Area only affecting the bridge over Queensway from Victoria Shopping Centre to Victoria Station
- Planning Application Boundary Exclusion Area for All Saints Church and its curtilage
- Existing Building
- Maximum Extent of Multi-Storey Car Park
- Public Open Space

Notes

1. The public open space is to be a minimum of 0.70 hectares.
2. Areas of Public Open Space are subject to a +/- 15 metre tolerance.
3. The public open space is to include informal and formal public open space, town squares, parks, play provision, necessary buffers to heritage assets, and structural landscape.
4. The land use within the development zones is described in the area schedule below. The maximum areas are Gross Internal Areas (GIA) and provide an upper limit for the indicated use classes and excludes ancillary car parking to serve the stated use.

Key	Use Class	Maximum Area
	Retail (r, sui generis)	Up to 5,000 m ² <small>(of which a maximum of 1,500m² to be located outside the Primary Shopping Area)</small>
	Employment Spaces: Workshops / Recording Studios / Brewery / Bakery & Ice	Up to 5,000 m ²
	Office Space (r, except at 2,500 m ²)	
	Artistic Studios (r)	
	Residential (r)	Up to 177,650 m ²
	Community & Creche/Nursery (r)	Up to 1,500 m ²
	Leisure (r)	Up to 1,000 m ²
	Event Space (r, sui generis)	Up to 500 m ²

5. The combined area of use classes E, B2, and sui generis will not exceed 10,000 m².
6. The public realm and streetscapes allows for the provision of structures for cycle parking.
7. Secured car parking to serve the development will be provided in the area shown as and is not accounted for in the above table

REV.	DESCRIPTION	APP.	DATE
01	Issued for Planning - Revision to Notes	NB	27.01.21

LDĀDESIGN

PROJECT TITLE
Better Queensway

DRAWING TITLE
Land Use Parameter Plan

ISSUED BY: London	T: 020 7467 1470
DATE: 02.04.2020	DRAWN: NB
SCALE: A3 1:2,500	CHECKED: MW
STATUS: Planning	APPROVED: NB

DWG. NO BEQ-LDA-ZZ-XX-XX-DR-N-ST-00004

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Area measurements for indicative purposes only.
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Sources: Ordnance Survey



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- LEGEND**
- Planning Application Boundary
 - Planning Application Boundary Exclusion Area only affecting the bridge over Queensway from Victoria Shopping Centre to Victoria Station
 - Planning Application Boundary Exclusion Area for All Saints Church and its curtilage
 - Existing Building
 - Public Realm / Transport Infrastructure
 - Up to +42.03m AOD (Approximately 3 Storeys)
 - Up to +45.16m AOD (Approximately 4 Storeys)
 - Up to +51.63m AOD (Approximately 5 Storeys)
 - Up to +54.78m AOD (Approximately 8 Storeys)
 - Up to +61.08m AOD (Approximately 8 Storeys)
 - Up to +64.23m AOD (Approximately 9 Storeys)
 - Up to +67.38m AOD (Approximately 10 Storeys)
 - Up to +73.68m AOD (Approximately 12 Storeys)
 - Up to +76.83m AOD (Approximately 13 Storeys)
 - Up to +79.98m AOD (Approximately 14 Storeys)
 - Up to +86.28m AOD (Approximately 16 Storeys)
 - Up to +87.17m AOD (Approximately 18 Storeys)

Note: The Public Realm / Transport Infrastructure zone includes the provision of structures for cycle parking.

REV.	DESCRIPTION	APP. DATE
06	Issued for Planning	MW 08.10.20

LDĀ DESIGN

PROJECT TITLE
Better Queensway

DRAWING TITLE
Maximum Building Height Parameter Plan

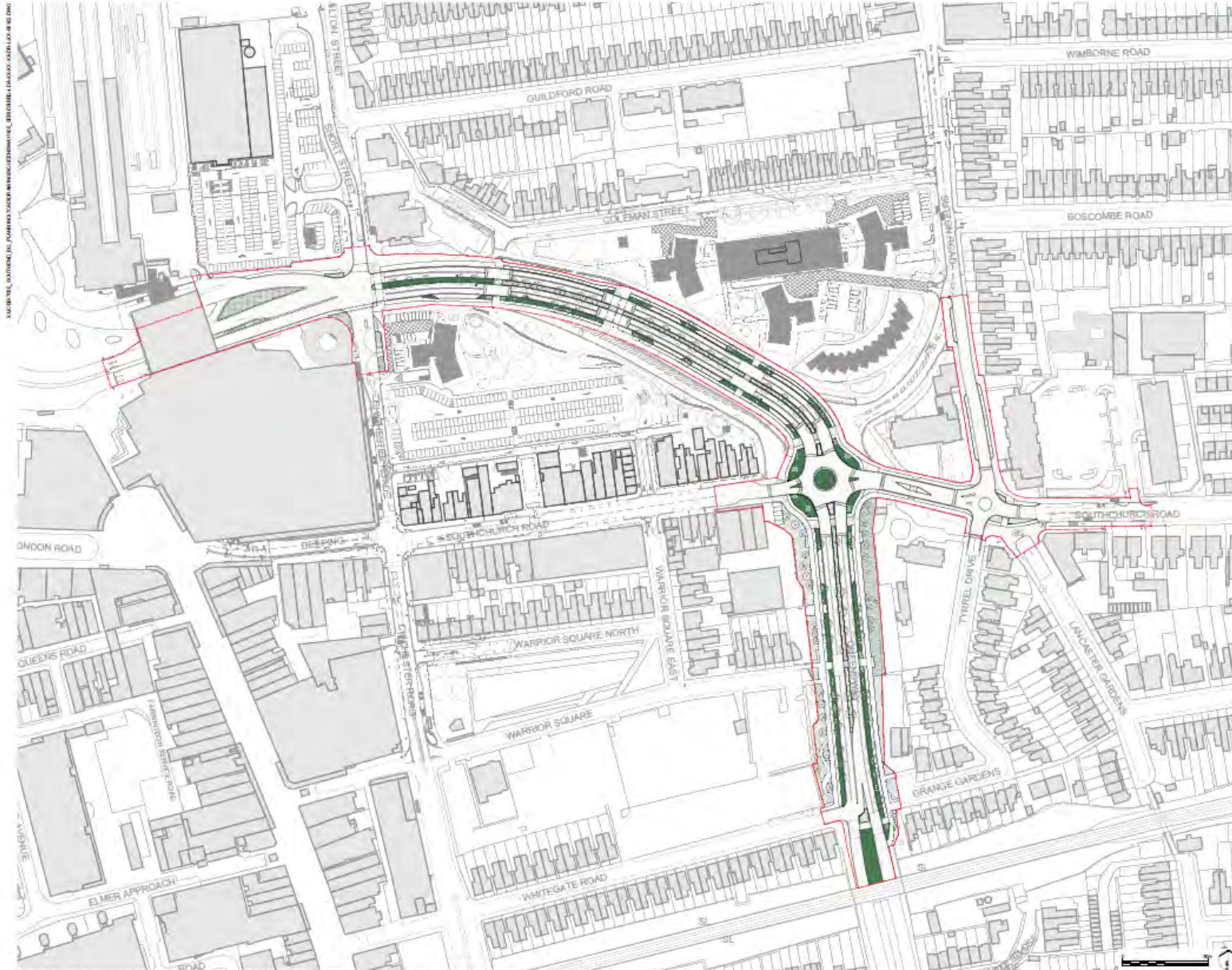
ISSUED BY:	London	T: 020 7467 1470
DATE:	02.04.2020	DRAWN: NB
SCALE@A3:	1:2,500	CHECKED: NB
STATUS:	Planning	APPROVED: MW

DWG. NO BEQ-LDA-ZZ-XX-XX-DR-N-ST-00005

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AS SHOWN ON THE PLANNING PERMISSIONS, THE PROPOSED DEVELOPMENT IS SUBJECT TO THE PLANNING PERMISSIONS GRANTED BY THE LOCAL AUTHORITY.



- LEGEND**
- █ Existing Planning Application Boundary
 - █ Existing Footprint - All Day
 - █ Existing Footprint - Two Storey
 - █ PLANTING TYPE 1 - SMALL PLANTING
AREA (SCALE: 1:2000)
 - █ PLANTING TYPE 2 - MEDIUM PLANTING
AREA (SCALE: 1:2000)
 - █ PLANTING TYPE 3 - LARGE PLANTING
AREA (SCALE: 1:2000)
 - █ PLANTING TYPE 4 - PLANTING TO BE
INSTALLED WITHIN 10% OF THE
EXISTING PLANTING AREA
 - █ PLANTING TYPE 5 - PLANTING TO BE
INSTALLED WITHIN 20% OF THE
EXISTING PLANTING AREA
 - █ PLANTING TYPE 6 - PLANTING TO BE
INSTALLED WITHIN 30% OF THE
EXISTING PLANTING AREA
 - █ PLANTING TYPE 7 - PLANTING TO BE
INSTALLED WITHIN 40% OF THE
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 - █ PLANTING TYPE 8 - PLANTING TO BE
INSTALLED WITHIN 50% OF THE
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 - █ PLANTING TYPE 9 - PLANTING TO BE
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 - █ PLANTING TYPE 10 - PLANTING TO BE
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 - █ PLANTING TYPE 13 - PLANTING TO BE
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 - █ PLANTING TYPE 14 - PLANTING TO BE
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 - █ PLANTING TYPE 15 - PLANTING TO BE
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 - █ PLANTING TYPE 16 - PLANTING TO BE
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REF: 220307020
 DATE: 22_04_2020
 SCALE: 1:1000
 DWG: NO BED-LDA-XX-XX-XX-DR-L-XX-0102

LD ADESIGN
 LANDSCAPE ARCHITECTS

PROJECT TITLE
 Sister Gateway

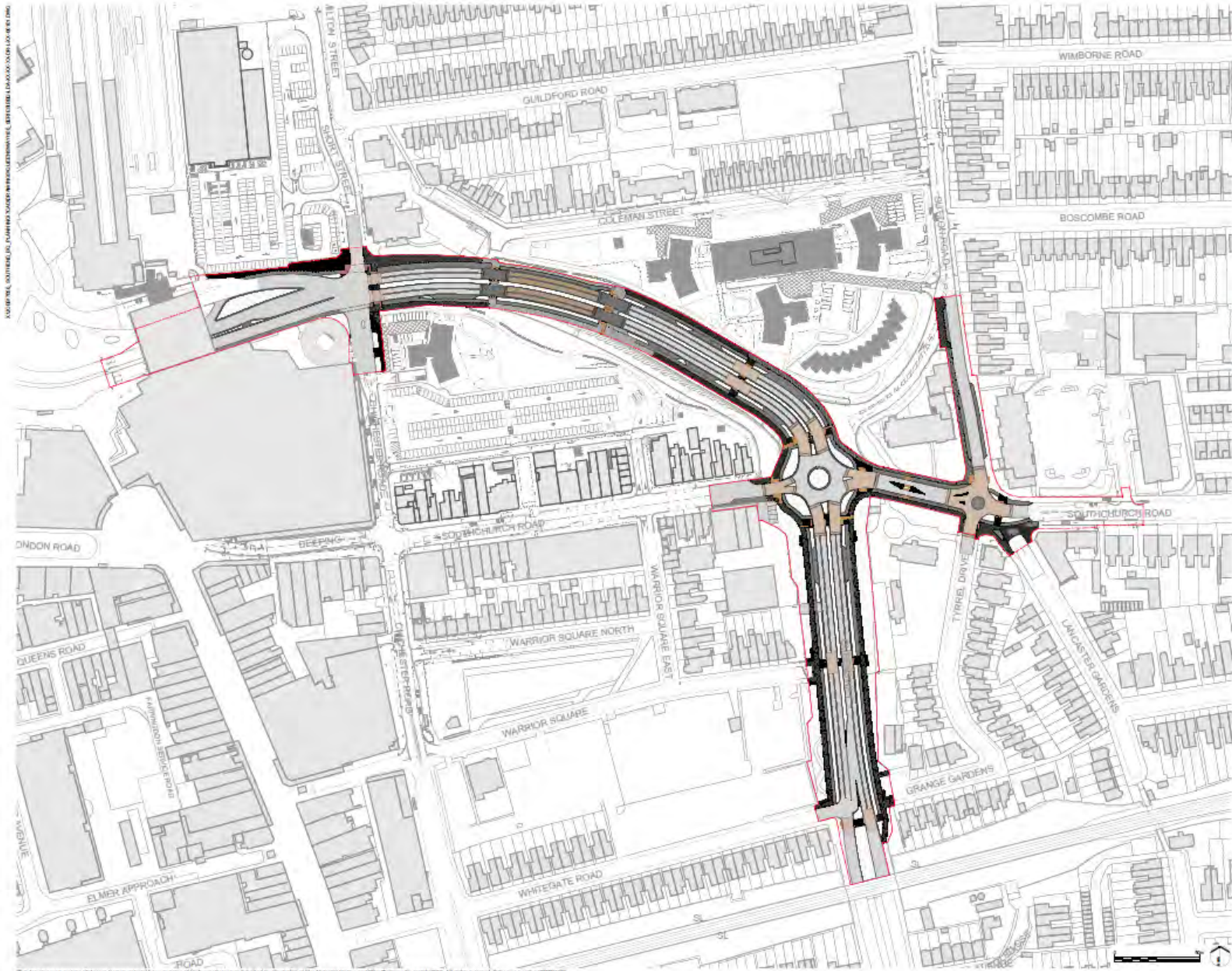
LOCATION TITLE
 Gateway - General Siteworks Plan

DATE: 22_04_2020
 DRAWN: SA
 CHECKED: MB
 APPROVED: MW

10 drawings are to be issued from this drawing
 All dimensions are to be stated on site
 Data is for reference only and not to be used for construction
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 Home - Garden Lane

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NO. 1001 THE CENTRE LTD., QUARRY ROAD SOUTH WIMBORNE VIL, DORSET BA15 2JG. 01305 350100



- LEGEND**
- [Red outline] Overall Paving System Boundary
 - [Pink shading] Access Paved - All Day
 - [Dark grey shading] Access Paved - Taxi Stand
- PAVING**
- [Pattern 1] Pavement (150mm concrete on 100mm sub-base)
 - [Pattern 2] Pavement (150mm concrete on 100mm sub-base) with aggregate
 - [Pattern 3] Pavement (150mm concrete on 100mm sub-base) with aggregate
 - [Pattern 4] Pavement (150mm concrete on 100mm sub-base) with aggregate
 - [Pattern 5] Pavement (150mm concrete on 100mm sub-base) with aggregate
 - [Pattern 6] Pavement (150mm concrete on 100mm sub-base) with aggregate
 - [Pattern 7] Pavement (150mm concrete on 100mm sub-base) with aggregate
 - [Pattern 8] Pavement (150mm concrete on 100mm sub-base) with aggregate
 - [Pattern 9] Pavement (150mm concrete on 100mm sub-base) with aggregate
 - [Pattern 10] Pavement (150mm concrete on 100mm sub-base) with aggregate
 - [Pattern 11] Pavement (150mm concrete on 100mm sub-base) with aggregate
 - [Pattern 12] Pavement (150mm concrete on 100mm sub-base) with aggregate
 - [Pattern 13] Pavement (150mm concrete on 100mm sub-base) with aggregate
 - [Pattern 14] Pavement (150mm concrete on 100mm sub-base) with aggregate
 - [Pattern 15] Pavement (150mm concrete on 100mm sub-base) with aggregate

REV. DESCRIPTION APP. DATE
[Table with 2 columns: REV. and DESCRIPTION]

LD^ADESIGN

Project Title:
Elder Quaternary

Working Title:
Quaternary - General Hardware Plan

PREPARED BY: [Name]
DATE: [Date]
SCALE: 1:1000
STATUS: Planning Approved
DWG. NO: BEO-LDA-00-00-00-00-LK-00-0010

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All dimensions are to be stated on site.
All dimensions are to be stated on site.
4500 Regency Road, South Weymouth, Dorset DT94 4EJ
Phone: 01305 350100