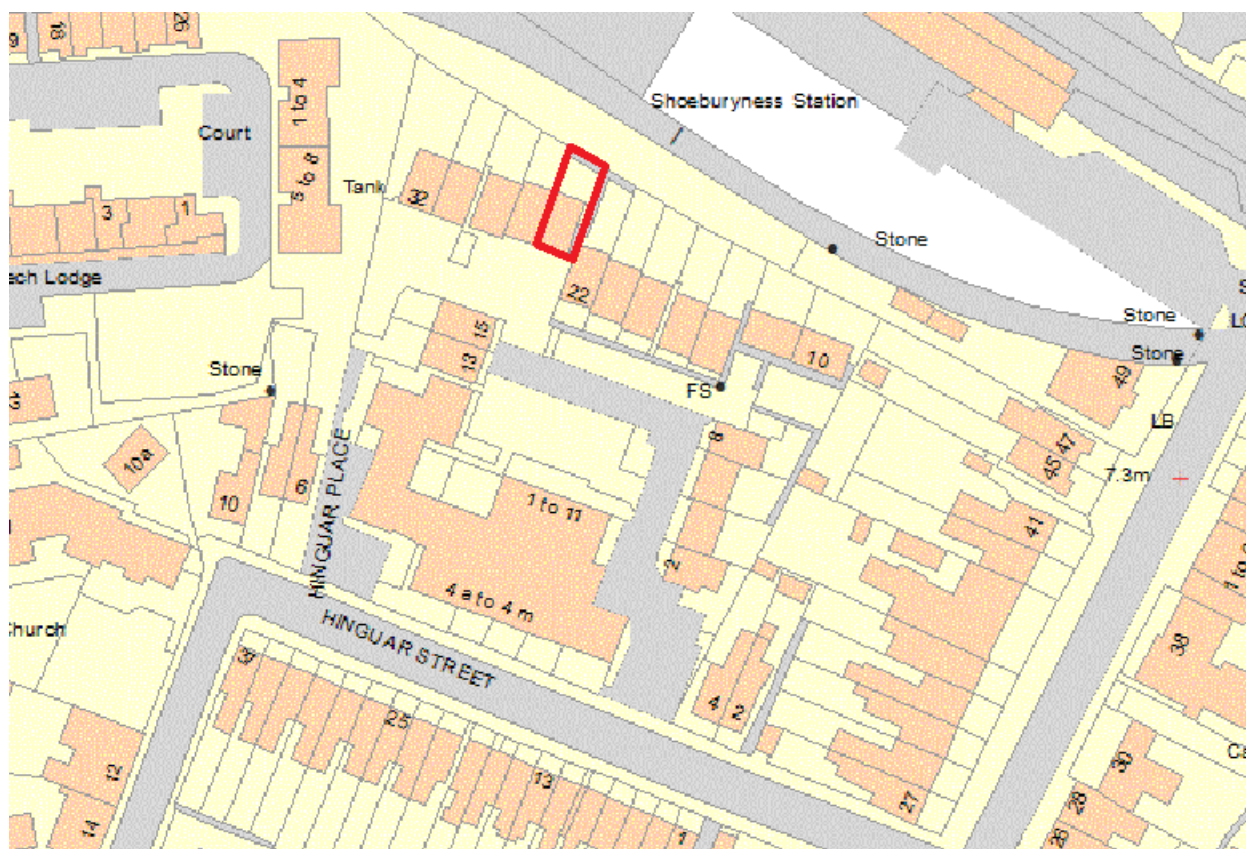


Reference:	22/00899/FULH	
Application Type:	Full Application - Householder	
Ward	Shoeburyness	
Proposal:	Erect dormer to rear	
Address:	24 Old School Court, Shoeburyness, Essex, SS3 9DU	
Applicant:	Mr Curtis Jewitt	
Agent:	Mr Dale Perry of Doodle Architectural Design	
Consultation Expiry:	13th May 2022	
Expiry Date:	7th July 2022	
Case Officer:	Hayley Thompson	
Plan Numbers:	01, 02, 03	
Recommendation:	GRANT PLANNING PERMISSION subject to conditions	



1 Site and Surroundings

- 1.1 The application site is on the north of Old School Court and contains an end terraced dwelling. The surrounding area is residential in character, comprising of two-storey dwellings of similar scale, form and design. The site backs onto Shoeburyness Railway Station and the London to Southend Railway line. The former Hinguar Primary School building is south of the site, the frontage of which is locally listed.
- 1.2 The site is not located within a Conservation Area or subject to any site-specific planning policies.

2 The Proposal

- 2.1 The application seeks planning permission to erect a dormer to the rear. The box style dormer 2.3m in height, 4.95m wide and 3.12m deep would contain two windows to the rear and finished in hanging roof tiles to match the existing dwelling.
- 2.2 The dimensions of the proposed dormer are comparable to what could otherwise be constructed under permitted development, however permitted development rights for roof extensions were removed by a condition of the original planning permission for the dwelling in the interest of residential amenity and environmental quality so that the acceptability or otherwise of any such future development would be retained under the Local Planning Authority's control.
- 2.3 The application has been called into the Development Control Committee by Councillor Moyies.

3 Relevant Planning History

- 3.1 14/01672/BC4M - Demolish outbuilding and associated extensions to Hinguar School, convert building in to 13 self-contained flats, erect 18 dwellinghouses, layout parking, bin store, form hard and soft landscaping - Granted.
- 3.2 15/01531/AMDT - Amend fenestration details and positions and install additional rooflights (Application to vary condition 02 (approved plans) of planning permission 14/01672/BC4M dated 23rd April 2015) – Granted.
- 3.3 16/00421/AMDT - Application to vary condition 02 (Approved Plans) and condition 11 (details of refuse and cycle stores) and condition 07 (10%renewables) (Minor Material Amendment to Planning Permissions 14/01672/BC4M dated 23rd April 2015 and 15/01531/AMDT dated 10th December 2015 – Granted.

4 Representation Summary

Network Rail

- 4.1 No objection.

Public Consultation

- 4.2 20 neighbouring properties were consulted by letter and no letters of representation have been received.

5 Planning Policy Summary

- 5.1 The National Planning Policy Framework (2021) and National Design Guide (2021)
- 5.2 Core Strategy (2007): Policies CP4 (Environment and Urban Renaissance) and KP2 (Development Principles)
- 5.3 Development Management Document (2015): Policies DM1 (Design Quality), DM3 (Efficient and Effective Use of Land), DM5 (Southend's Historic Environment) and DM15 (Sustainable Transport Management)
- 5.4 The Southend-on-Sea Design and Townscape Guide (2009)
- 5.5 Community Infrastructure Levy (CIL) Charging Schedule (2015)

6 Appraisal

Planning Considerations

- 6.1 The main considerations in the determination of this application are the principle of the development, design and impact on the character of the area, impact on heritage assets, impact on residential amenity of neighbouring residents and CIL considerations.

Principle of Development

- 6.2 The principle of extending an existing dwelling is considered acceptable and policy compliant, subject to the proposal appropriately addressing the relevant detailed planning considerations.

Design and Impact on Character

- 6.3 Local and national planning policies and guidance seek to ensure that new development is well designed. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- 6.4 Local development plan policies seek to ensure that new development is designed so that it adds to the overall quality of the area and respects the character of the site, its local context and surroundings, provides appropriate detailing that contributes to and enhances the distinctiveness of place; and contribute positively to the space between buildings and their relationship to the public realm.
- 6.5 Policy DM1 of the Development Management Document states that all development should; “add to the overall quality of the area and respect the character of the site, its local context and surroundings in terms of its architectural approach, height, size, scale, form, massing, density, layout, proportions, materials, townscape and/or landscape setting, use, and detailed design features”.

- 6.6 Policy DM5 of the Development Management Document states that all development proposals that affects a heritage asset “will be required to include an assessment of its significance, and to conserve and enhance its historic and architectural character, setting and townscape value.
- 6.7 Paragraph 366 of the Design and Townscape Guide states that proposals for roof enlargements “must respect the style, scale and form of the existing roof design and the character of the wider townscape. Dormer windows, where appropriate, should appear incidental in the roof slope (i.e., set in from both side walls, set well below the ridgeline and well above the eaves). The position of the new opening should correspond with the rhythm and align with existing fenestration on lower floors. Large box style dormers should be avoided, especially where they have public impact, as they appear bulky and unsightly”.
- 6.8 While the dormer would be a box style, it is positioned within the roofslope so that it retains acceptable distances to the sides and is set below the roof ridge and above the eaves. The proposed openings would correspond and align with the position and design of existing windows at first floor level and therefore maintain clear vertical alignment. The proposed use of hanging tiles would ensure that the dormer would integrate well with the host dwelling.
- 6.9 The proposed development would be sited to the north of the former Hinguar Primary School the frontage of which is locally listed. Due to the separation distances involved it is not considered that the proposed development would have any material impact on the historic or architectural character of this building. It is considered that the design, size, siting and scale of the development proposed are such that it would not result in any significant harm to the character and appearance of the site, the streetscene and the area more widely including views from the rear garden scene and from the railway. The proposal is therefore considered to be acceptable and policy compliant in these regards.

Amenity Impacts

- 6.10 Local and national planning policies and guidance seek to secure high quality development which protects amenity. Policy DM1 of the Development Management Document specifically identifies that development should protect the amenity of the site, immediate neighbours, and surrounding area, having regard to privacy, overlooking, outlook, noise and disturbance, visual enclosure, pollution, and daylight and sunlight. Further advice on how to achieve this is set out in the Council's Design and Townscape Guide.
- 6.11 The application property is neighboured by 22 Old School Court to the east and 26 Old School Court to the west. No.22 is situated forward of the applicant site in its plot. As the proposed dormer would be contained within the existing roofspace, it is not considered that the additional bulk to the roofspace would have a harmful impact on the amenity of occupiers of this neighbouring dwelling.
- 6.12 The proposed dormer would not contain any side openings which could overlook or result in any perceived or actual loss of privacy to these neighbouring dwellings. Shoeburyness Railway Station is located to the rear of the site, and there are no residential dwellings within the immediate locality to the rear.

As such it is not considered that the amenities of any other neighbouring properties would be harmed as a result of the proposed development.

- 6.13 It is therefore considered that the proposed development would not have an adverse impact on residential amenity. The proposed development is therefore acceptable and policy compliant in this regard.

Other Matters

- 6.14 The proposed development is not found to result in any significant parking or highways impacts, it is therefore acceptable and policy compliant in these regards.
- 6.15 The development is not liable for a payment under the Community Infrastructure Levy Regulations 2010 (as amended).

Equality and Diversity Issues

- 6.16 The Equality Act 2010 (as amended) imposes important duties on public authorities in the exercise of their functions and specifically introduced a Public Sector Equality Duty. Under this duty, public organisations are required to have due regard for the need to eliminate unlawful discrimination, harassment and victimisation, and must advance equality of opportunity and foster good relations between those who share a protected characteristic and those who do not. Officers have in considering this application and preparing this report had careful regard to the requirements of the Equalities Act 2010 (as amended). They have concluded that the decision recommended will not conflict with the Council's statutory duties under this legislation.

Conclusion

- 6.17 For the reasons outlined above the proposal is found to be acceptable and compliant with the relevant planning policies and guidance. As there are no other material planning considerations which would justify reaching a different conclusion it is recommended that planning permission is granted subject to conditions.

7 Recommendation

GRANT PLANNING PERMISSION subject to the following conditions

- 01 The development hereby permitted shall begin no later than three years from the date of the decision.**

Reason: Required pursuant to Section 91 of the Town and Country Planning Act 1990.

- 02 The development shall only be undertaken in accordance with the following approved plans: 01, 02, 03.**

Reason: To ensure the development is carried out in accordance with the consent sought, has an acceptable design and complies with policy DM1 of the Development Management Document (2015).

- 03** Before the development hereby approved is occupied the materials used on the external surfaces of the development must match those used on the external surfaces of the existing property. This applies unless differences are shown on the drawings hereby approved or are required by other conditions on this permission.

Reason: To ensure the development is carried out in accordance with the consent sought, has an acceptable design and complies with policy DM1 of the Development Management Document (2015).

Positive and Proactive Statement

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. The detailed analysis is set out in a report on the application prepared by officers.

Informatives

- 01** You are advised that as the development equates to less than 100sqm of new floorspace the development benefits from a Minor Development Exemption under the Community Infrastructure Levy Regulations 2010 (as amended) and as such no charge is payable. See www.southend.gov.uk/cil for further details about the Levy.
- 02** You should be aware that in cases where damage occurs during construction works to the highway in implementing this permission that Council may seek to recover the cost of repairing public highways and footpaths from any party responsible for damaging them. This includes damage carried out when implementing a planning permission or other works to buildings or land. Please take care when carrying out works on or near the public highways and footpaths in the borough.